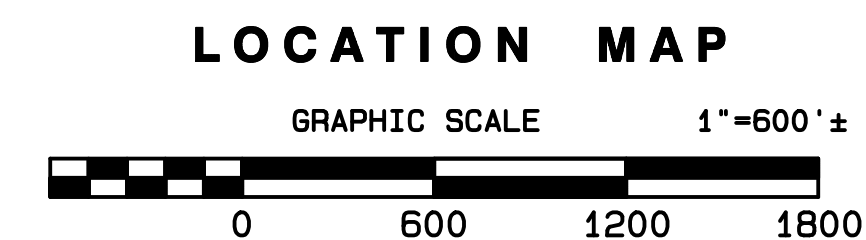
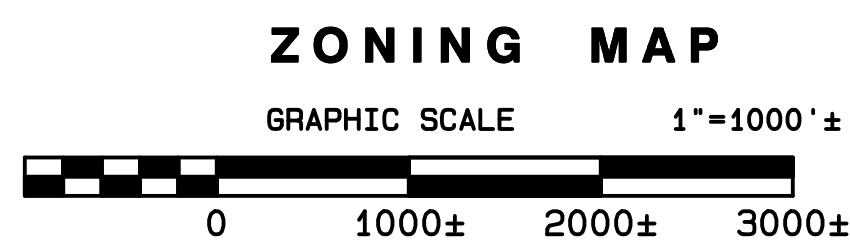


SITE PLAN OF LOT 2.01 BLOCK 414 FOR HOMES BY TLC, INC 208 SULLIVAN WAY IN THE TOWNSHIP OF EWING MERCER COUNTY, NEW JERSEY



SURROUNDING OWNERS (WITHIN 200 FT.)

BLOCK	LOT	CURRENT OWNER	ADDRESS
414	1	EWING LAWRENCE SEWERAGE AUTHORITY	600 WHITEHEAD ROAD LAWRENCEVILLE, NJ 08648
414	2	SUNOCO PIPELINE L.P. RIGHT OF WAY DEPT. MONTELEO COMPLEX	525 FRITZTOWN ROAD SINKING SPRING, PA. 19608
417	14	DCR CANAL COMMISSION	33 RISLER STREET PO BOX 139 STOCKTON, NJ 08559-0539
415	1	MERCER COUNTY PLANNING BOARD	MCDADE ADMINISTRATION BUILDING 640 SOUTH BROAD STREET, PO BOX 8088 TRENTON, NJ 08650
		VERIZON	ONE VERIZON WAY BASKING RIDGE, NJ 07920
		TRENTON WATER WORKS	333 CORTLAND STREET TRENTON, NJ 08609
		COMCAST CABLEVISION	940 PROSPECT STREET EWING, NJ 08618
		TRANSCONTINENTAL GAS PIPELINE CO.	PO BOX 1396 HOUSTON, TX 77251
		PUBLIC SERVICE ELECTRIC AND GAS CO. MANAGER - CORPORATE PROPERTIES	80 PARK PLAZA, 708 NEWARK, N.J. 07102
		AT&T	295 NORTH MAPLE AVENUE BASKING RIDGE, NJ 07920

SITE PLAN NOTES:

- VERTICAL DATUM: ASSUMED SYSTEM
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - ALL WORK SHOWN IS TO BE DONE IN ACCORDANCE WITH NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" EDITION 2007 (THE GREEN BOOK) AND THE "TOWNSHIP CONSTRUCTION DETAILS" AS REVISED TO FEBRUARY 2007.
 - CURRENT PREVAILING TWP. AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS, HEREON AND/OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION, WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- WHEN DISTURBED AREAS ARE AT FINAL GRADE, THEY WILL BE STABILIZED AND FINAL LANDSCAPING WILL BE IMPLEMENTED IN ACCORDANCE TO GOOD PRACTICES.
- THE TOWNSHIP ENGINEER MAY DIRECT THE REMOVAL OF UNSUITABLE MATERIAL AND INSTALLATION OF SELECT FILL MATERIAL AND/OR SOIL STABILIZATION FABRIC.
- SOLID WASTE GENERATED DURING CONSTRUCTION IS TO BE DISPOSED OF OFF-SITE IN AN APPROPRIATE LANDFILL. ON-SITE OPEN BURNING IS PROHIBITED BY STATE AND LOCAL AIR-POLLUTION CONTROL LAWS.
- A SOIL DISTURBANCE/REMOVAL APPLICATION MUST BE SUBMITTED TO THE MERCER COUNTY SOIL CONSERVATION DISTRICT AND A PERMIT ISSUED BY SAID AGENCY PRIOR TO ANY DISTURBANCE OF SOIL OR ISSUANCE OF A BUILDING PERMIT.
- DO NOT SCALE DRAWINGS. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED HEREON IS NOT A SURVEY.
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF TOWNSHIP AND AGENCY REVIEW AND APPROVAL.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION.
- TEST PITS SHALL BE DUG BY THE CONTRACTOR TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION, WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- ALL UTILITIES MUST BE CONSTRUCTED UNDERGROUND.
- THESE NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- EXISTING DAMAGED OR DETERIORATED CURB SHALL BE REMOVED & REPLACED.
- INSTALL BUILDING ADDRESS PLACARDS AT ALL EGRESS DOORS (4" MIN.)
- THE OUTDOOR STORAGE OF EQUIPMENT, GOODS OR MATERIAL ARE NOT PERMITTED.
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 2:23-2.21(a) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.23(f) (OSHA COMPETENT PERSON)

INDEX OF SHEETS

DESCRIPTION	SHEET NO.
TITLE SHEET	SHEET NO. 1
PLAN OF TOPOGRAPHIC SURVEY	SHEET NO. 2
SITE PLAN	SHEET NO. 3
GRADING AND DRAINAGE	SHEET NO. 4
LIGHTING PLAN	SHEET NO. 5
LANDSCAPE PLAN	SHEET NO. 6
CONSTRUCTION DETAILS	SHEET NO. 7
DETENTION BASIN DETAILS	SHEET NO. 8
INFILTRATION BASIN DETAILS	SHEET NO. 8A
STORM SEWER PLAN AND PROFILES	SHEET NO. 8B
STORM SEWER PLAN AND PROFILES	SHEET NO. 8C
SANITARY SEWER EXT - SULLIVAN WAY	SHEET NO. 9
SANITARY SEWER EXT - ON SITE	SHEET NO. 10
SANITARY SEWER CONSTRUCTION DETAILS	SHEET NO. 11

APPROVED BY EWING TOWNSHIP PLANNING BOARD

OWNER & APPLICANT:

HOMES BY TLC, INC
1880 PRINCETON AVENUE
LAWRENCEVILLE, NJ 08648-4561
PHONE: 609-922-1167

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD AND THAT I CONCUR WITH THE PLAN

CELIA BERNSTEIN DATE

CHAIRPERSON	DATE
SECRETARY	DATE
DIRECTOR OF PLANNING	DATE
TOWNSHIP ENGINEER	DATE

SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.

No.	Date	Description
1	7/18/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-882-0616
FAX. NO. 609-882-6004

D.F. STRATTON, L.S. N.J.-27592 P.P.N.J.-5021
C.W. STRATTON, L.S. N.J.-43395

JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462

Joseph Mester
DATE 7/18/23

TITLE SHEET
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 1

CERTIFICATE OF AUTHORIZATION NO.	TAX MAP DATA	
LOT	BLOCK	PAGE
2.01	414	79
DATE 12/22/22		
INV. 44242		
DRAWN BY: JTH		
SCALE SHOWN		
FB. PG.		
FILE 107-93		

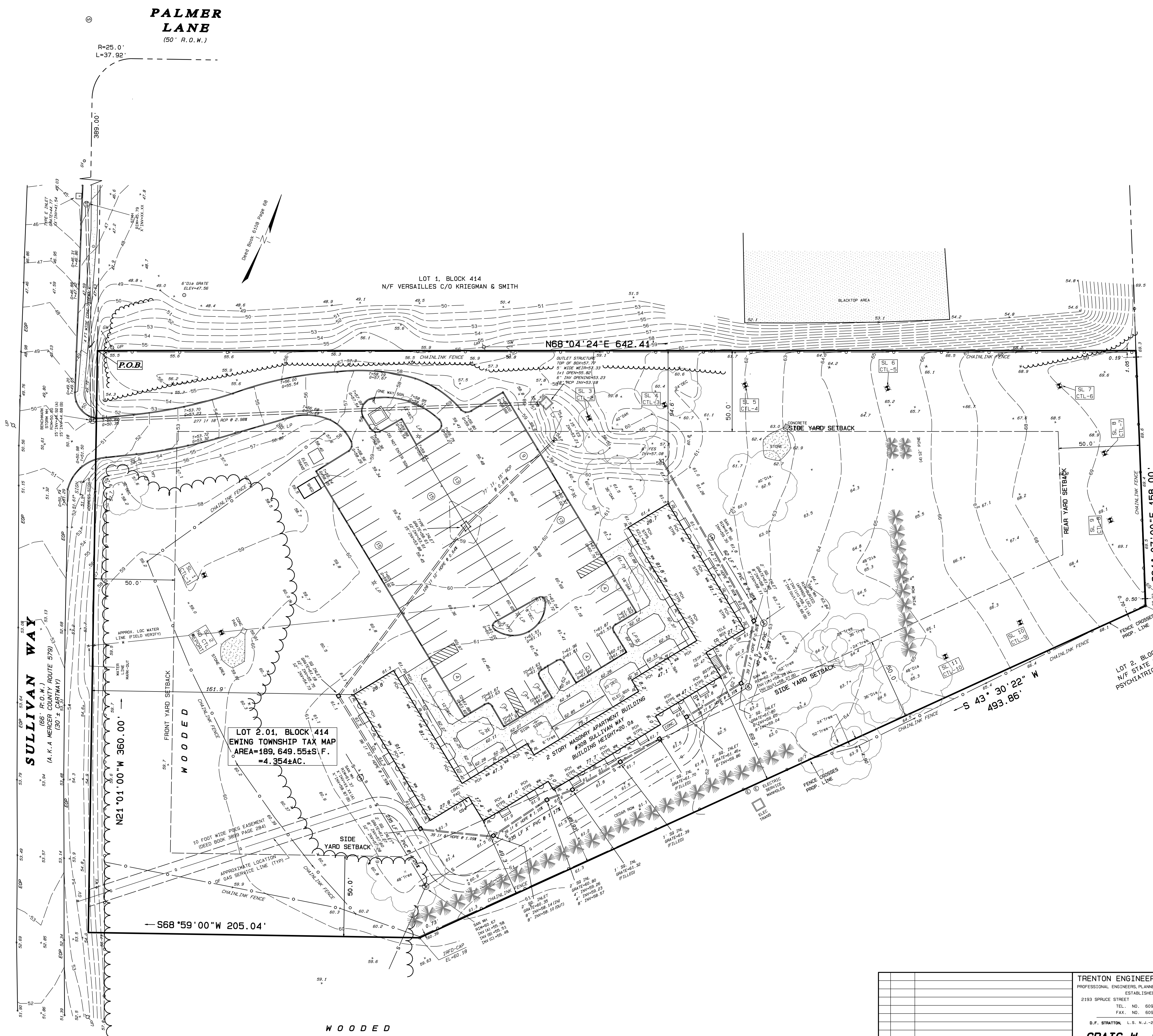
PALMER LANE
(50' R.O.W.)

SURVEY NOTES:

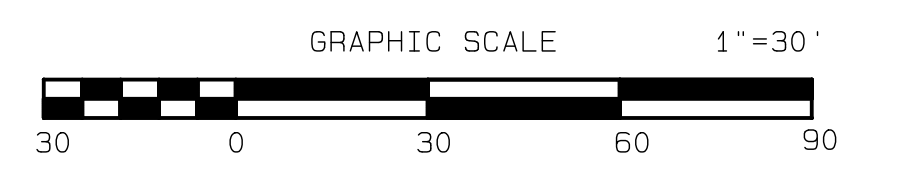
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- A WRITTEN MAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM ULTIMATE USER PURSUANT TO THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS REGULATION, P.L. 2003, c. 14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).
- THIS PLAN PREPARED FOR A FEE FOR THE PERSONS AND PURPOSES INDICATED HEREON. ANY OTHER USE OF THIS PLAN OR COPIES, OR ALTERATIONS OF IT NOT IMPRESSED WITH THE SEAL OF THE LICENSED INDIVIDUAL WHO PREPARED THIS PLAN IS NOT THE RESPONSIBILITY OF THE UNDERSIGNED.
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES AND STRUCTURES AS SHOWN HEREON HAVE BEEN LOCATED FROM PHYSICAL MARKINGS ON THE GROUND BY VARIOUS UTILITY COMPANIES. FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES OR STRUCTURES SHOWN COMPREHEND ALL SUCH UNDERGROUND FEATURES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND FEATURES WHICH ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE UNDERGROUND UTILITY MARKOUT NUMBER (800-272-1000) SHALL BE CALLED.
- SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND LEASES OF RECORD, RECORDED OR UNRECORDED, AND ANY OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE. TITLE SEARCH NOT PROVIDED.
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- VERTICAL DATUM: ASSUMED SYSTEM
- BENCHMARK LOCATED ON SITE. STORM MANHOLE ON SULLIVAN WAY. ELEVATING +50.00' AS SHOWN ON PLAN.
- HORIZONTAL DATUM: DEED SYSTEM. DEED BOOK VOLUME 6108, PAGE 68
- SUBJECT TO A GRANT OF EASEMENT TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY PER DEED BOOK 3899, PAGE 282

REFERENCES:

- "PLAN OF SURVEY OF LOT 2.01, BLOCK 414 FOR HOMES BY T.L.C. INC. EWING TOWNSHIP NEW JERSEY" PREPARED BY PRINCETON JUNCTION ENGINEERING INC. DATED JULY 25, 2017



- LEGEND:**
- MH = MANHOLE
 - CLF = CHAIN LINK FENCE
 - WF = WIRE FENCE
 - IR = IRON ROD
 - MON = MONUMENT
 - MV = WATER VALVE
 - GW = GUY WIRE
 - UP = UTILITY POLE
 - WM = WINDOW WELL
 - G = GAS LINES
 - W = WATER LINES
 - MONF = MONUMENT FOUND
 - TB = TOP OF BANK
 - BB = BOTTOM OF BANK
 - RCP = REINFORCED CONCRETE PIPE
 - TCB = TOP OF CATCH BASIN
 - DEP = DEPRESSURE CURB
 - EDP = EDGE OF PAVING
 - GND = GROUND
 - TC = TOP OF CURB
 - G = GUTTER
 - HYD = HYDRANT
 - ESM = EDGE OF SIDEWALK
 - INV = INVERT
 - EDR = EDGE OF ROAD
 - CL = CENTERLINE
 - FF = FIRST FLOOR
 - EDS = EDGE OF STONE
 - BLD = BUILDING
 - CMP = CORRUGATED METAL PIPE



SHEET 2

NO.	DATE	DESCRIPTION

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004
D.F. STRATTON, L.S. N.J.-27583 P.P.N.J.-5021
CRAIG W. STRATTON
N.J. PROFESSIONAL LAND SURVEYOR NO. 43395

PLAN OF
TOPOGRAPHIC SURVEY
of
LOT 2.01, BLOCK 414
for
HOMES BY T.L.C. INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE OF AUTHORIZATION NO. 24842052900	
TAX MAP DATA	
LOT	
BLOCK	
PAGE	
2.01	414 79
DATE	12/22/22
INV.	44315
DRAWN BY:	JTH
SCALE	1"=30'
FB.	PG.
FILE	107-93

PALMER LANE
(50' R.O.W.)

LEGEND:

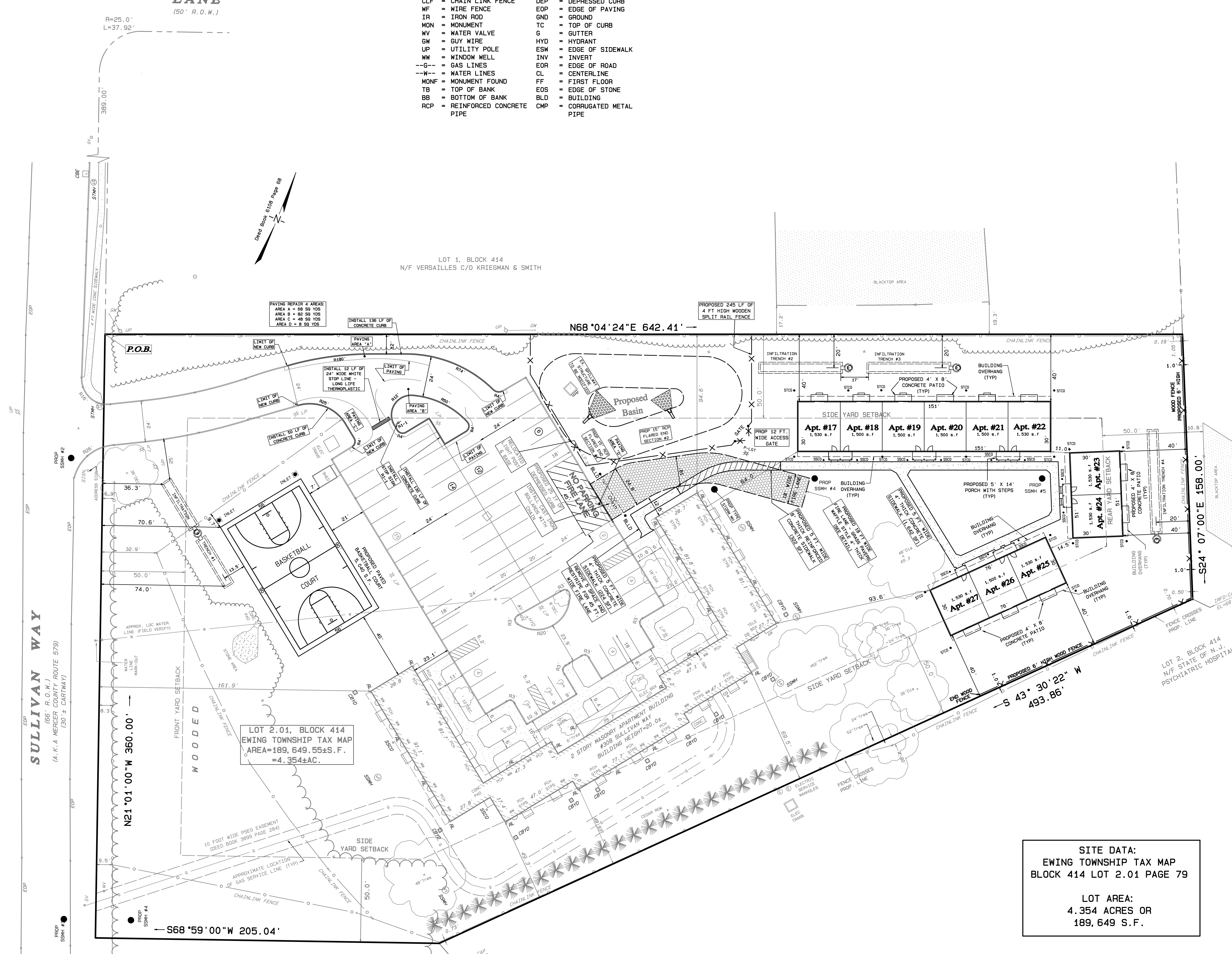
- | | |
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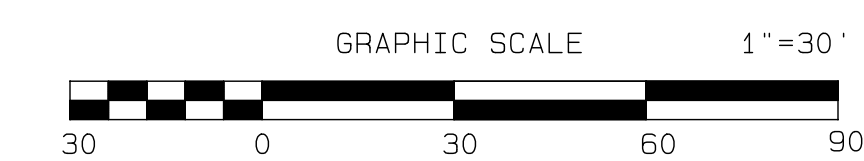


ZONING SCHEDULE:			
R-M Residential Multi-Family Apartments			
DESCRIPTIONS	REQUIRED	EXISTING	PROPOSED
PRINCIPAL BUILDING			
Minimum Lot Area	5 Acres	4.35 Acres (V)	4.35 Acres (V)
Minimum Lot Frontage	300 ft.	360.00 ft.	360.00 ft.
Minimum Lot Width	300 ft.	360.08 ft.	360.08 ft.
Minimum Lot Depth	500 ft.	642.41 ft.	642.41 ft.
Minimum Front Yard	50 ft.	161.86 ft.	161.86 ft.
Minimum Side Yard (Each)	50 ft.	48.93 ft.	40.00 ft. (V)
Minimum Rear Yard	50 ft.	248.63 ft.	40.00 ft. (V)
Maximum Building Height	45 ft./3 stories	2 Stories	2 Stories
Density, Gross:	Maximum of 43 Apartments Per Acre	14 Apartments or 3.22 Per Ac.	14 Apartments and 11 Townhouses Per Ac.
Distance between building parking area and public and private streets:			
	REQUIRED	EXISTING	PROPOSED
Front wall to front wall:	100 ft.	NA	NA
End wall to end wall:	30 ft.	NA	11.2 ft. (V)
Rear wall to rear wall:	60 ft.	NA	NA
End wall to front wall:	30 ft.	NA	NA
End wall to rear wall:	40 ft.	NA	63.9
Front wall to parking lot:	20 ft.	16.7 ft. (V)	16.7 ft. (V)
Rear or end wall to parking lot:	15 ft.	NA	NA
Bldg. wall to street curb:	25 ft.	178.9 ft.	178.9 ft.
Bldg. wall to public RDW:	50 ft.	161.9 ft.	161.9 ft.
	REQUIRED	EXISTING	PROPOSED
Building Coverage:	15% Max. or 28,447 sf	5.10% or 9,680 sf	9.69% or 18,370 sf
Lot Coverage:	35% Max. or 66,377 sf	21.98% or 41,694 sf	30.85% or 58,507 sf
Open Space:	35% Min. or 94,825 sf	72.92% or 138,275 sf	59.46% or 112,772 sf
Parking Requirements:	REQUIRED	EXISTING	PROPOSED
Ewing 2 Spaces per each Dwelling Unit		14 Apartments x 2 Spaces = 28 Spaces	14 Apartments x 2 Spaces = 28 Spaces 25 Units x 2 Spaces = 50 Spaces
		Provided: 71 Spaces	Provided: 64 Spaces

SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.

(V) INDICATES VARIANCE REQUESTED



SHEET 3

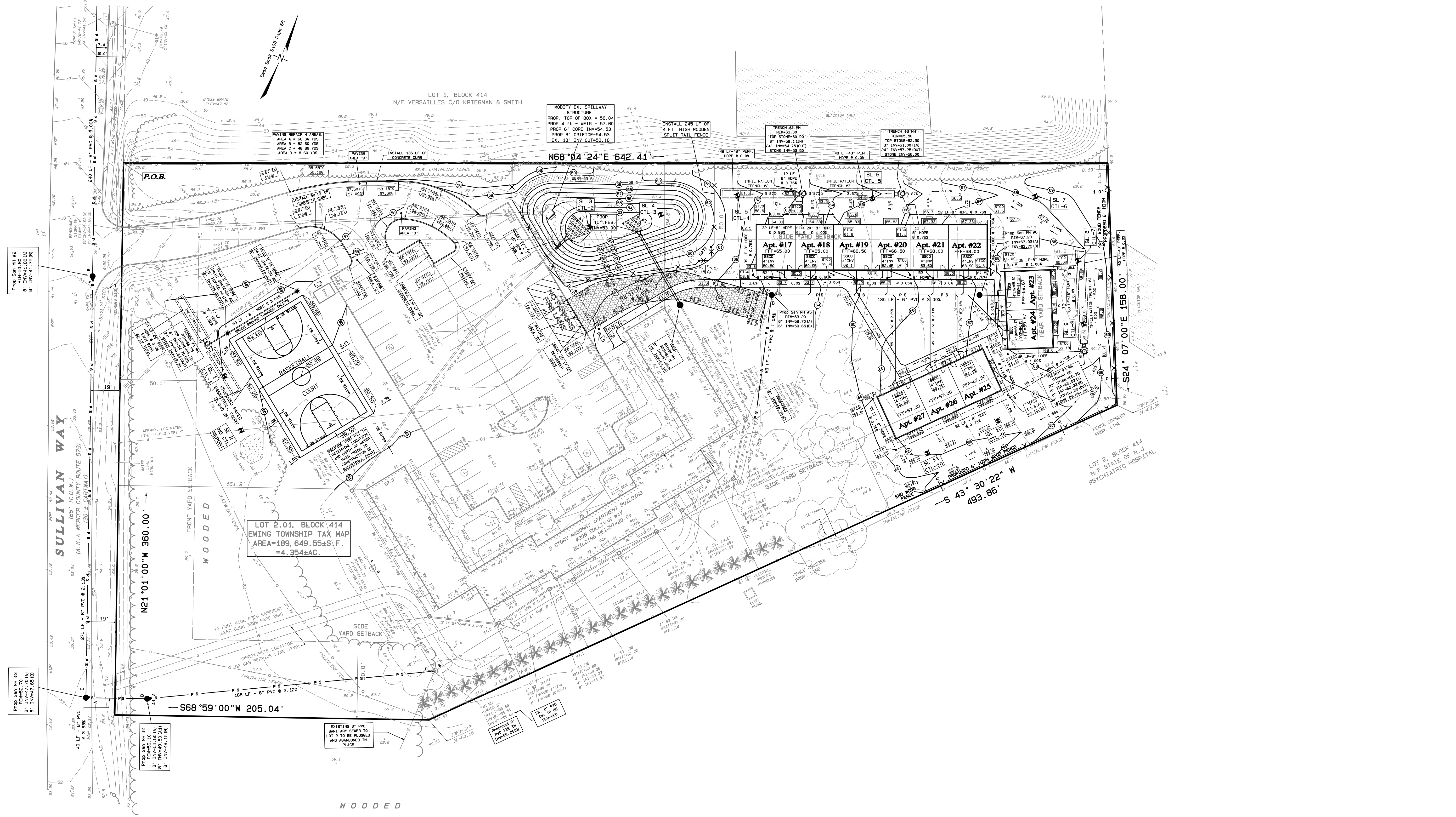
No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

REVISIONS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004
D.F. STRATTON, L.S. N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462
Joseph Mester
DATE 7/16/23

SITE PLAN
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE OF AUTHORIZATION NO. 24842052000	
TAX MAP DATA	
LOT	BLOCK PAGE
2.01	414 79
DATE 12/22/22	
INV. 44315	
DRAWN BY: JTH	
SCALE 1"=30'	
FB.	PG.
FILE 107-93	



LOT 2.01, BLOCK 414
EWING TOWNSHIP TAX MAP
AREA=189,649.55±S.F.
=4.354±AC.

LOT 1, BLOCK 414
N/F VERSAILLES C/O KRIEGMAN & SMITH

LOT 2, BLOCK 414
N/F STATE OF N.J.
PSYCHIATRIC HOSPITAL

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 - MON = MONUMENT
 - MV = WATER VALVE
 - GW = GUY WIRE
 - UP = UTILITY POLE
 - MW = WINDOW WELL
 - G-- = GAS LINES
 - W-- = WATER LINES
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 - INV = INVERT
 - EOR = EDGE OF ROAD
 - CL = CENTERLINE
 - FF = FIRST FLOOR
 - EOS = EDGE OF STONE
 - BLD = BUILDING
 - CMP = CORRUGATED METAL PIPE
 - 69.00 = PROPOSED GRADE
 - 52.00 = EXISTING GRADE
 - 69 = PROPOSED CONTOUR LINE
 - 1.5% -- = GRADE SLOPE AND DIRECTION

SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
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No.	Date	Description
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JOSEPH MESTER
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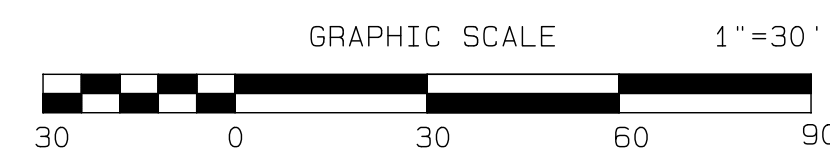
Joseph Mester
DATE: 7/19/23

GRADING AND DRAINAGE PLAN
of
LOT 2.01, BLOCK 414
for
HOMES by TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 4

TAX MAP DATA	
LOT	PAGE
2.01 414	79

DATE 12/22/22
INV. 44315
DRAWN BY: JTH
SCALE 1"=30'
FB. PG.
FILE 107-93



PALMER LANE
(50' R.O.W.)

LEGEND:

- | | |
|--------------------------------|-----------------------------|
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| BB = BOTTOM OF BANK | BLD = BUILDING |
| RCP = REINFORCED CONCRETE PIPE | CMP = CORRUGATED METAL PIPE |

Statistics


Description	Avg	Max	Min	Max/Min	Avg/Min
DRIVEWAY	1.4 fc	2.7 fc	0.0 fc	N/A	N/A
PARKING LOT	1.0 fc	2.8 fc	0.2 fc	14.0:1	5.0:1
SITE CALCULATIONS	0.4 fc	26.2 fc	0.0 fc	N/A	N/A
TYPICAL PERIMETER AREA	2.5 fc	19.5 fc	0.3 fc	65.0:1	8.3:1
WALKWAY	2.3 fc	21.4 fc	0.1 fc	214.0:1	23.0:1

Schedule

Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
A	5	247CL P155 XXXX 40K R3	247CL American Revolution LED Full Cutoff, P155 Performance Package, 4000K CCT, R3 Distribution,	1	7119	0.9	69.9934
B	4	247CL P155 XXXX 40K R5	247CL American Revolution LED Full Cutoff, P155 Performance Package, 4000K CCT, R5 Distribution,	1	7352	0.9	69.9934
C	16	TWR2 LED P1 Mvolt	Outdoor Non-Cutoff and Semi-Cutoff Wall-Mounted Area Luminaires	1	8194	0.9	63.99
D	22	OLCS 8 DOB	OUTDOOR CAST SCENCE W/DR3 FROSTED LENS: BROWN	1	470	0.9	8.93

Contempo LED Series 245L

PRODUCT OVERVIEW

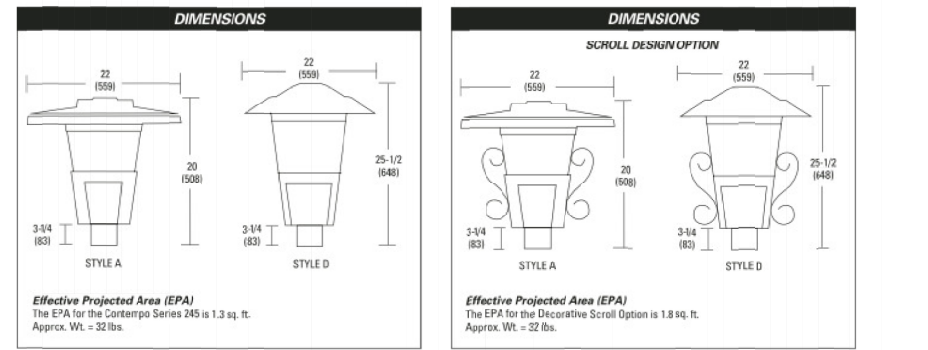


Features:

- Die cast aluminum housing and clear aluminum hood for long life performance.
- Multi-gasketing to provide weatherproof protection of optical assembly for full lumen performance.
- Hinged hood and captive screw fastening provision effort quick, easy access to electrical and optical area for servicing.
- Available with two different eye shades and an added screw option for a more decorative look.
- Clear mounting flange with set screws allows secure installation to pole sizes 3/8" or 1" O.D.
- Prismatic reflectors available in acrylic, glass and polycarbonate.
- Beam pattern beam available in acrylic or polycarbonate.
- Surge protection device (standard) exceeds ANSI C82.41 Category C1 (minimum surge current of 100kA).
- Complies with ANSI: C136.2, C136.14, C136.15.
- CSA listed and suitable for up to 30°C ambient.
- Rated L70, LED life greater than 100,000 hours at 25°C.
- Available up to 100W PPS high bay luminaire models.
- LED electronic 0V-10V dimmable driver.
- DesignLight Corporation (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Product List at www.designlight.org/DLC to confirm which versions are qualified.

Applications:

- Decorative
- Wallwash
- Pathway
- Parks



LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

GENERAL: - The TW1 LED luminaire is designed for general illumination in outdoor and indoor applications. It is available in a variety of beam spreads and mounting options. It is designed to provide long life performance and is suitable for use in a variety of environments.

CONSTRUCTION: - Hinged lid allows easy access to the LED array and driver. The luminaire is constructed from high quality materials and is designed to provide long life performance.

OPERATION: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

INSTALLATION: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

MAINTENANCE: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

WARRANTY: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

OUTDOOR GENERAL PURPOSE OLCS

OUTDOOR LED CAST SCENCE

Model	Beam Spread	Color Temperature (K)	Wattage	Finish
OLCS	8	4000	8	Black

TWR1 LED LED Wall Luminaire



Specifications:

- Width: 12 1/2"
- Height: 5"
- Depth: 7 1/2"
- Weight: 1.95 lbs.

Introduction:

The popular TWR1 luminaire is now available with long lasting, energy efficient LED technology. Featuring a classic design, the TWR1 LED offers a traditional appearance and is powered by advanced LEDs.

The TWR1 LED luminaire is powerful yet energy efficient, capable of replacing up to a 30W metal halide luminaire while saving up to 80% in energy costs. Offering an expected service life of more than 20 years, the TWR1 LED eliminates frequent lamp and ballast replacements associated with traditional technology.

Ordering Information

EXAMPLE: TWR1 LED P2 50K MVOLT DOBXT0

Model	Beam Spread	Color Temperature	Wattage	Finish	Mount
TWR1	P2	50K	50	Black	DOBXT0

FEATURES & SPECIFICATIONS

GENERAL: - The TW1 LED luminaire is designed for general illumination in outdoor and indoor applications. It is available in a variety of beam spreads and mounting options. It is designed to provide long life performance and is suitable for use in a variety of environments.

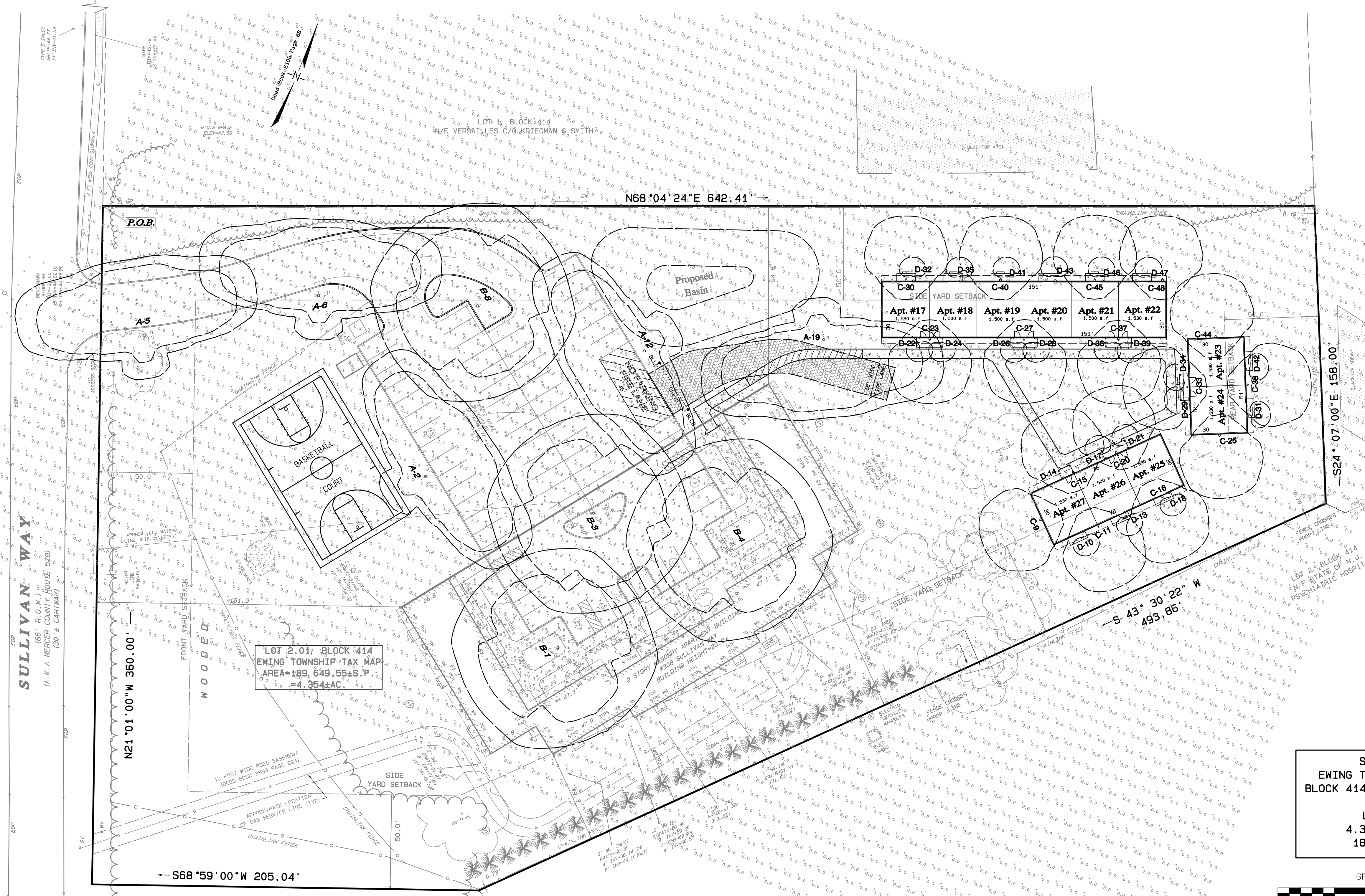
CONSTRUCTION: - Hinged lid allows easy access to the LED array and driver. The luminaire is constructed from high quality materials and is designed to provide long life performance.

OPERATION: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

INSTALLATION: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

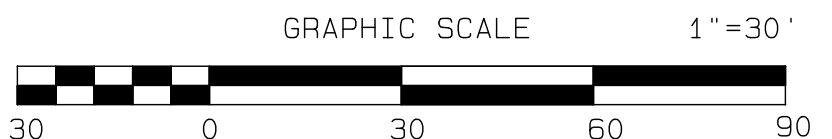
MAINTENANCE: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.

WARRANTY: - The TW1 LED luminaire is designed to provide long life performance and is suitable for use in a variety of environments.



SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4,354 ACRES OR
189,649 S.F.



REVISIONS

No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004

D.F. STRATTON, L.S., N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462

Joseph Mester
DATE: 7/16/23

LIGHTING PLAN
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE OF ADOPTION NO. 24848052000

TAX MAP DATA

LOT	BLOCK	PAGE
2.01	414	79

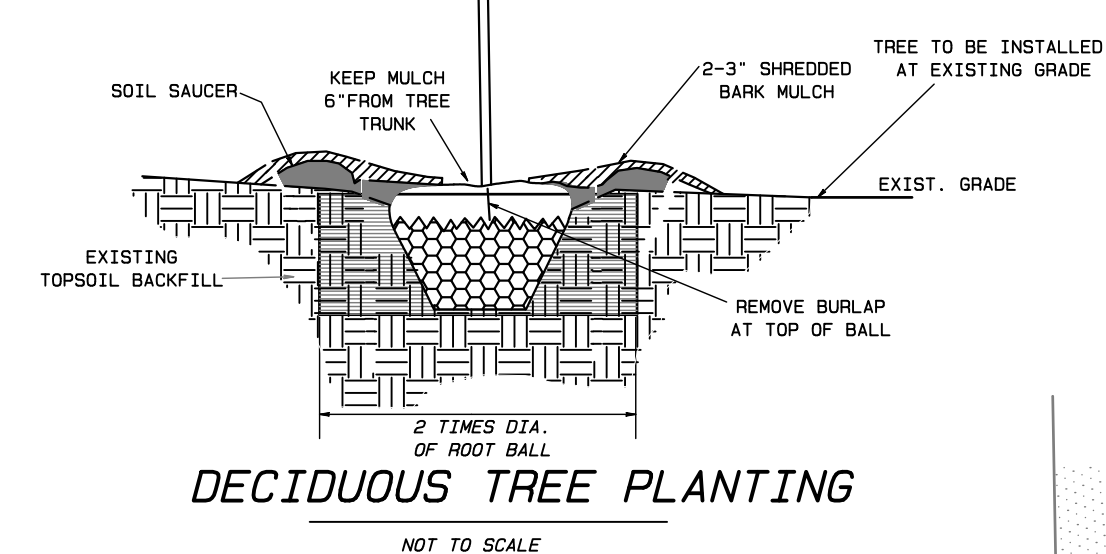
DATE 12/22/22
INV. 44315
DRAWN BY: JTH
SCALE 1"=30'
FB. PG.
FILE 107-93

PALMER LANE
(50' R.O.W.)

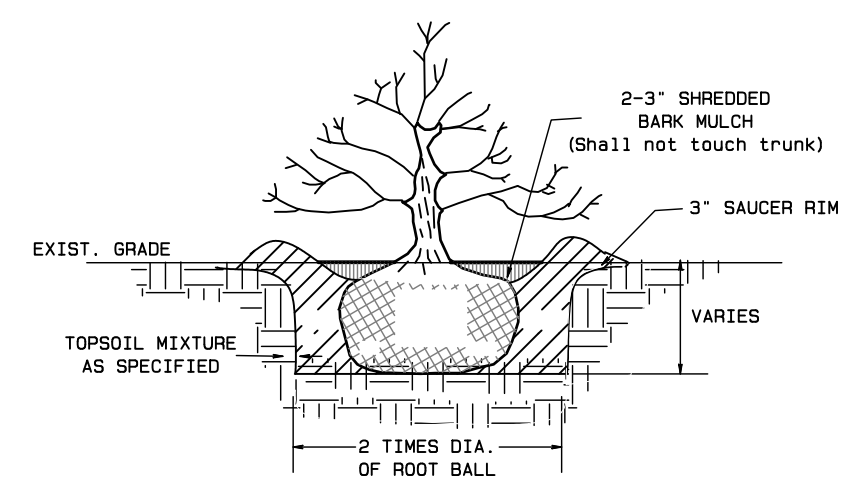
R=25.0'
L=37.92'

NOTES:
--MULCH BED SHOULD BE 2" IN DIAMETER FOR EVERY 1" CALIPER

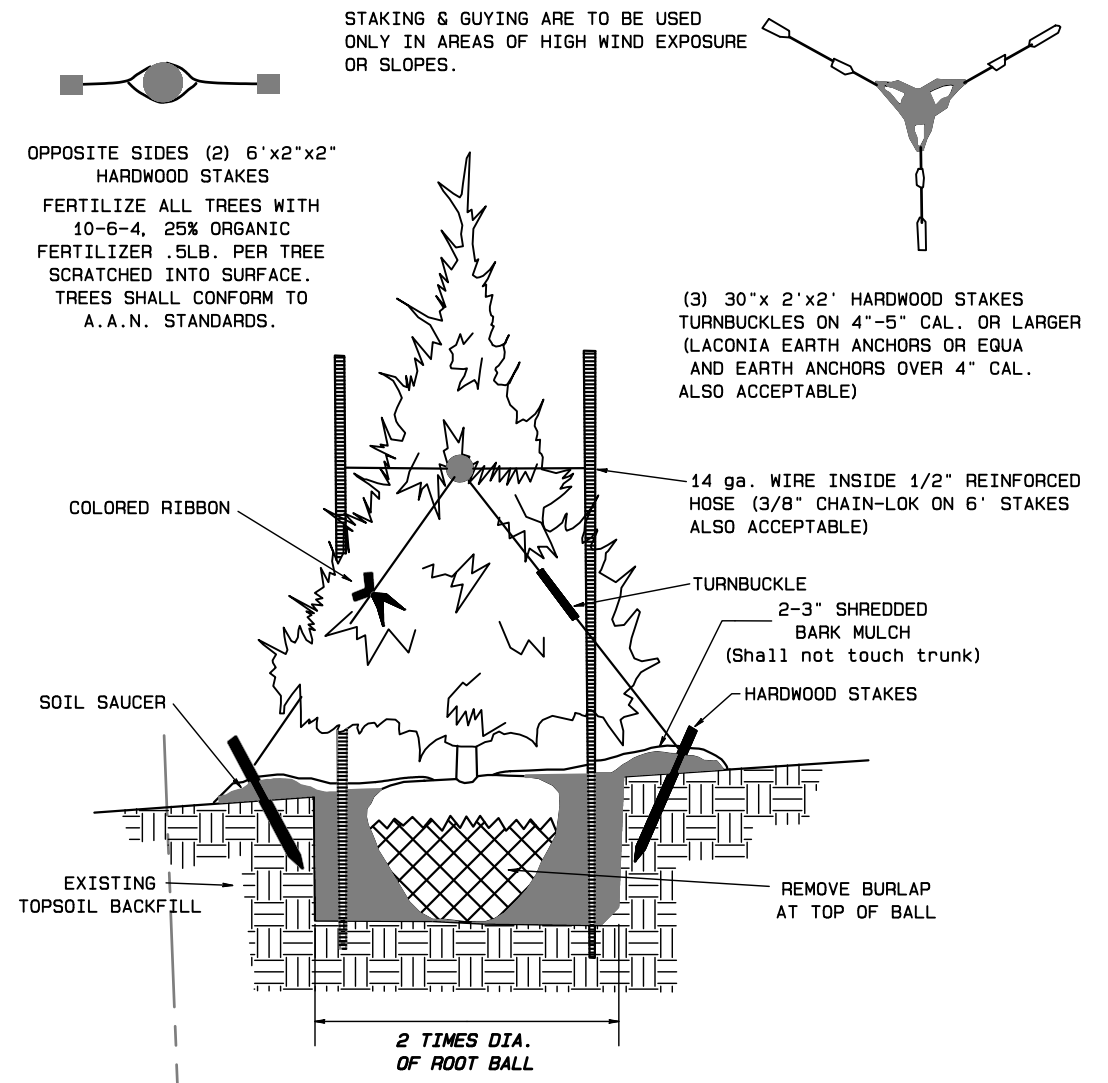
FERTILIZE ALL TREES WITH 10-10-10, 20% ORGANIC FERTILIZER 5LB. PER TREE SCRATCHED INTO SURFACE. TREES SHALL CONFORM TO A.A.N. STANDARDS.



DECIDUOUS TREE PLANTING
NOT TO SCALE



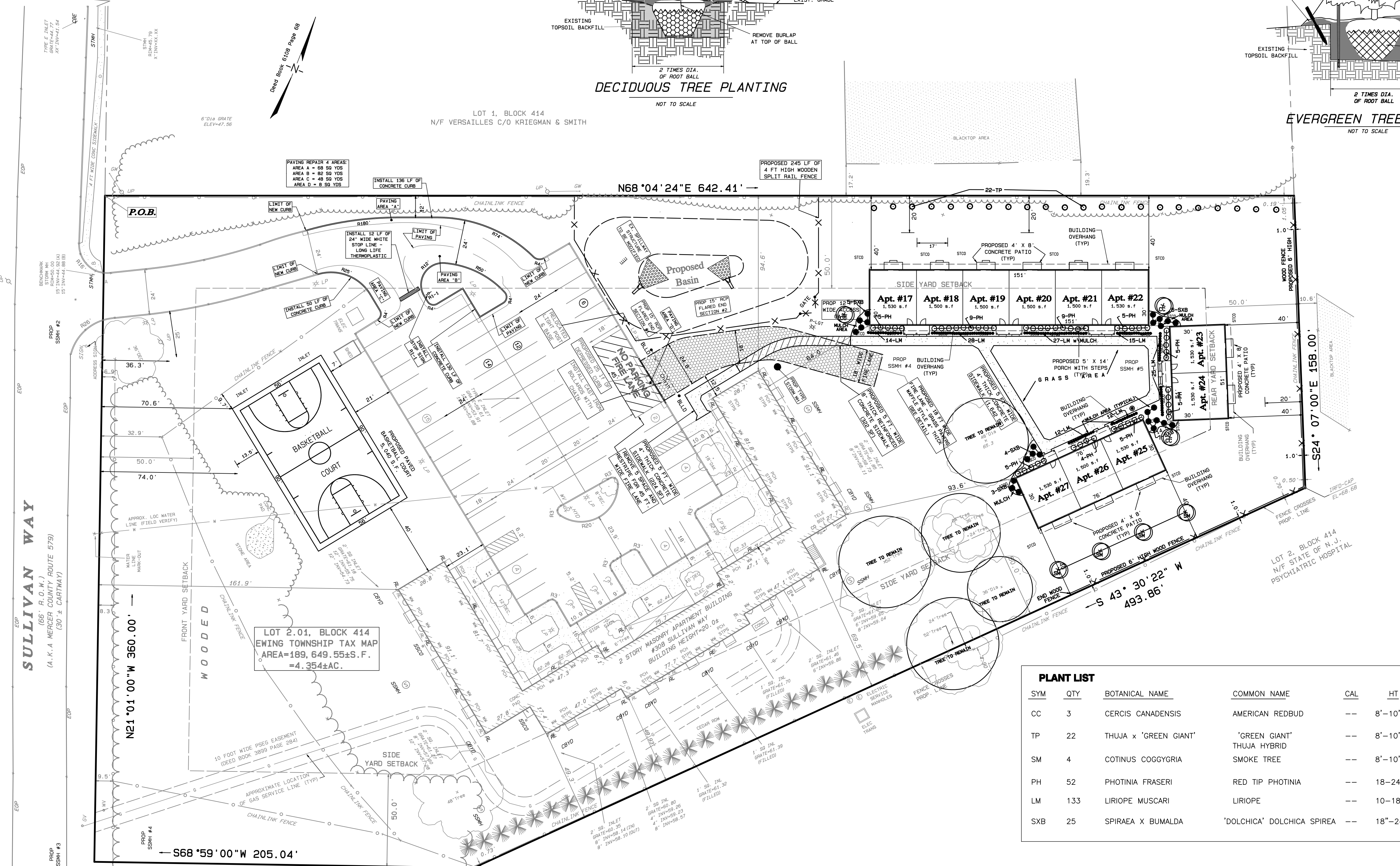
SHRUB PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE STAKING
NOT TO SCALE

LANDSCAPE NOTES:

- A. GENERAL:**
- THE LANDSCAPE PLAN WAS PREPARED FOR LANDSCAPING PURPOSES ONLY. THIS PLAN SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - IN THE EVENT THAT DISCREPANCIES ARE DISCOVERED BETWEEN THE PLAN AND THE PLANTING SCHEDULE, THE PLAN CONDITIONS SHALL GOVERN.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO BIDDING.
 - SUBSTITUTIONS IN PLANT TYPE OR SIZE SHALL ONLY BE MADE WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK.
 - WHEREVER MULCH IS PLACED, IT SHALL BE TREATED WITH A PRE-EMERGENT WEED CONTROL IN ACCORDANCE WITH THE PRODUCT APPLICATION INSTRUCTIONS.
- B. MATERIALS:**
- TOPSOIL SHALL MEET THE STANDARDS OUTLINED IN SECTION 917.01 OF THE NJDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
 - ALL PLANTS SHALL BE PROVIDED IN THE SIZE, SPECIES, GENUS AND VARIETY AS SPECIFIED ON THE PLANTING SCHEDULE.
 - ALL PLANTS SHALL CONFORM TO THE STANDARDS CONTAINED IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPING ASSOCIATION.
 - ALL PLANTS SHALL BE FREE OF DISEASE, INSECTS, KNOTS, AND OTHER DEFORMITIES.
 - TREE CROWNS SHALL BE WELL BALANCED, SYMMETRICAL, AND TYPICAL FOR THE GENUS, SPECIES, AND CULTIVAR.
 - UNLESS OTHERWISE SPECIFIED, ALL TREES SHALL HAVE A SINGLE, RELATIVELY STRAIGHT, CENTRAL LEADER AND TAPERED TRUNK.
 - PLANTS SHALL BE DELIVERED TO THE SITE NO MORE THAN 48 HOURS PRIOR TO PLANTING, WHEN PLANTS WILL NOT BE INSTALLED IMMEDIATELY UPON DELIVERY, THEY SHALL BE STORED IN A SHADED AREA, PROTECTED FROM DIRECT SUNLIGHT, AND THE ROOT BALLS WATERED REGULARLY TO PREVENT DRYING.
 - ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE TIME OF OWNER ACCEPTANCE.
- C. PLANTING:**
- ALL PLANTS SHALL BE HANDLED AND TRANSPORTED TO PREVENT INJURIES DURING TRANSIT. DO NOT DROP OR DUMP PLANTS WHILE LOADING OR UNLOADING.
 - ALWAYS HANDLE PLANTS BY THE ROOTBALL. NEVER LIFT A PLANT BY THE TRUNK OR BRANCHES.
 - ALL SHRUB MASSES ARE TO BE PLANTED IN A CONTINUOUS PLANTING BED.
 - ALL PLANTING BEDS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO INSTALLING PLANTS.
 - PRIOR TO PLANTING, ALL PLANTS SHALL BE PRUNED IN ACCORDANCE WITH ANSI A.300 TO PRESERVE THE NATURAL CHARACTER OF EACH PLANT. NEVER PRUNE OR REMOVE THE CENTRAL LEADER OF ANY TREE.
 - ALL PLANTS SHALL BE SET PLUMB IN THE PLANTING PITS AT THE SAME DEPTH AT WHICH THEY WERE GROWN IN THE NURSERY. THE ROOT FLARE OF ALL TREES SHALL BE VISIBLE.
 - AFTER PLACING BALLED AND BURLAPPED PLANTS INTO THE PLANTING PIT, BURLAP SHALL BE REMOVED FROM THE TOP 1/3 OF THE ROOTBALL PRIOR TO, OR WHILE, BACKFILLING THE PLANTING PIT. THE TOP RING OF ANY WIRE BASKETS SHALL BE CUT AND REMOVED.
 - UNLESS SPECIFIED ELSEWHERE, ALL PLANTING PITS SHALL BE BACKFILLED WITH A MIXTURE OF 70% NATIVE SOIL AND 30% TOPSOIL.
 - BACKFILLING SHALL BE PLACED IN 6" LIFTS. EACH LIFT SHALL BE WATERED IN AND LET SETTLE PRIOR TO PLACING THE NEXT LIFT.
 - TREES SHALL BE GUYED AND STAKED IN AREAS WITH HIGH WINDS, SATURATED SOILS, STEEP SLOPES OR OTHER CONDITIONS WHICH WARRANT SUPPORT.
 - ALL TREES SHALL BE MULCHED TO A DEPTH OF 2" TO THE LIMIT OF THE PLANTING PIT. MULCH CIRCLE SHALL RESEMBLE A SAUCER. NO MULCH SHALL BE PLACED WITHIN 3" OF THE TREE TRUNK.

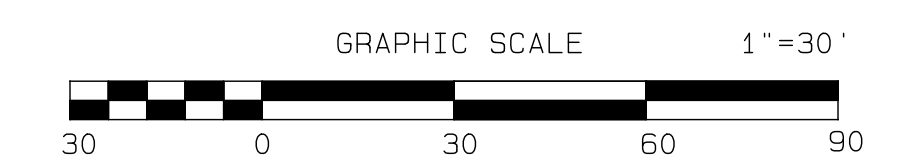


PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	CAL	HT	SP	ROOT	REMARKS
CC	3	CERCIS CANADENSIS	AMERICAN REDBUD	--	8'-10'	--	BB	--
TP	22	THUJA x 'GREEN GIANT'	'GREEN GIANT' THUJA HYBRID	--	8'-10'	--	BB	10'OC
SM	4	COTINUS COGGYGRIA	SMOKE TREE	--	8'-10'	--	BB	--
PH	52	PHOTINIA FRASERI	RED TIP PHOTINIA	--	18-24"	--	1gal CAN	48"OC
LM	133	LIRIOPE MUSCARI	LIRIOPE	--	10-18"	--	#3 CAN	60"OC
SXB	25	SPIRAEA X BUMALDA	'DOLCHICA' DOLCHICA SPIREA	--	18"-24"	--	CONT.	36"OC

SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.



- LEGEND:**
- MH = MANHOLE
 - CLF = CHAIN LINK FENCE
 - WF = WIRE FENCE
 - IR = IRON ROD
 - MON = MONUMENT
 - WV = WATER VALVE
 - GW = GUY WIRE
 - UP = UTILITY POLE
 - WN = WINDOW WELL
 - G-- = GAS LINES
 - W-- = WATER LINES
 - MONF = MONUMENT FOUND
 - TB = TOP OF BANK
 - SB = BOTTOM OF BANK
 - RCP = REINFORCED CONCRETE PIPE
 - TCB = TOP OF CATCH BASIN
 - DEP = DEPRESSED CURB
 - EOP = EDGE OF PAVING
 - GND = GROUND
 - TC = TOP OF CURB
 - G = GUTTER
 - HYD = HYDRANT
 - ESW = EDGE OF SIDEWALK
 - INV = INVERT
 - EOR = EDGE OF ROAD
 - CL = CENTERLINE
 - FF = FIRST FLOOR
 - EOS = EDGE OF STONE
 - BLD = BUILDING
 - CMP = CORRUGATED METAL PIPE

REVISIONS

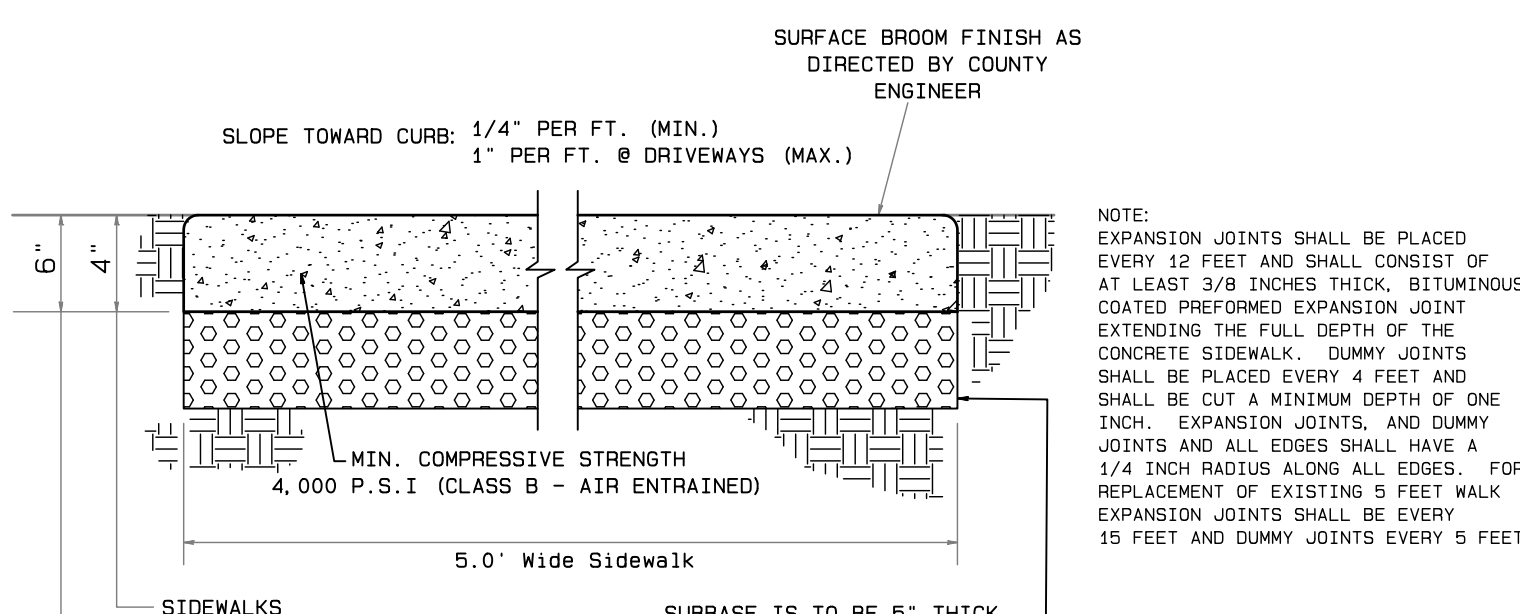
No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
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JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462
DATE 7/19/23

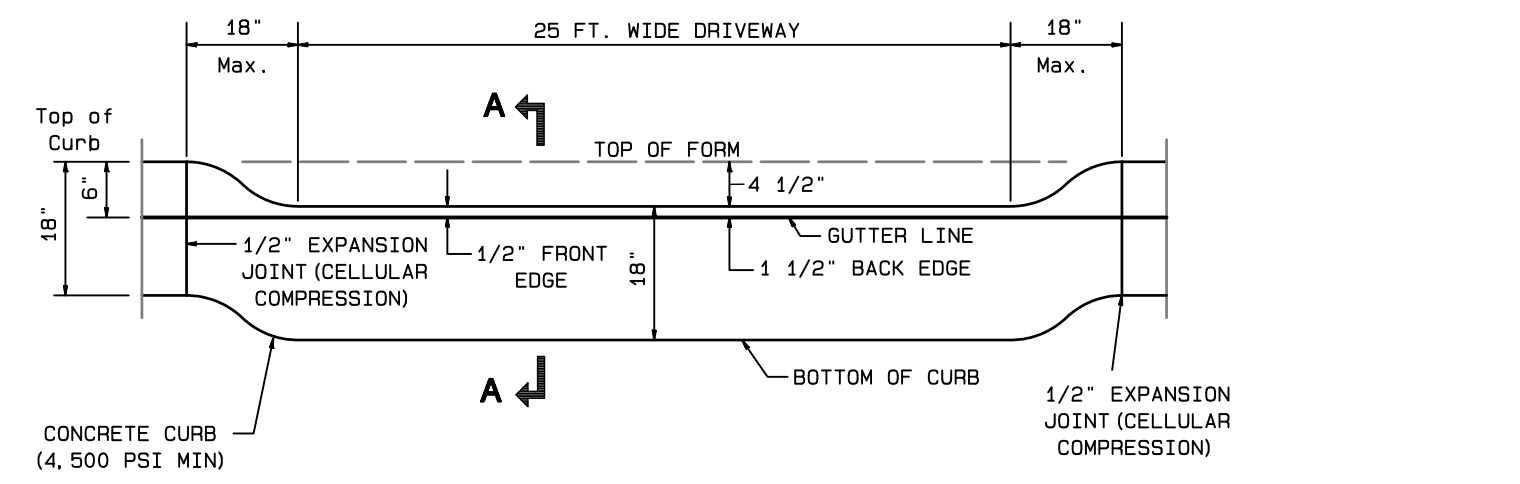
LANDSCAPE PLAN
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 6

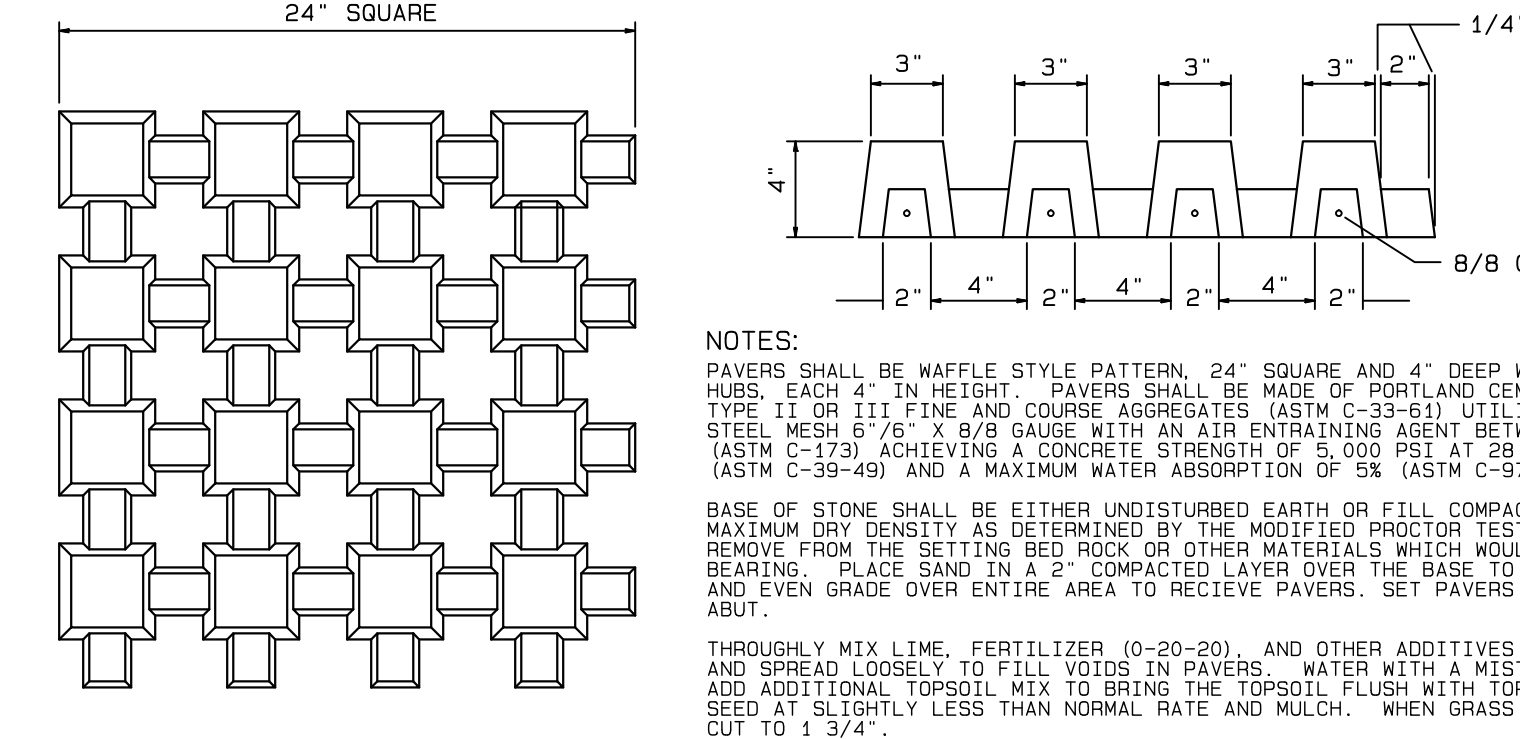
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	INV. 44315
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	FB. PG.
	FILE 107-93



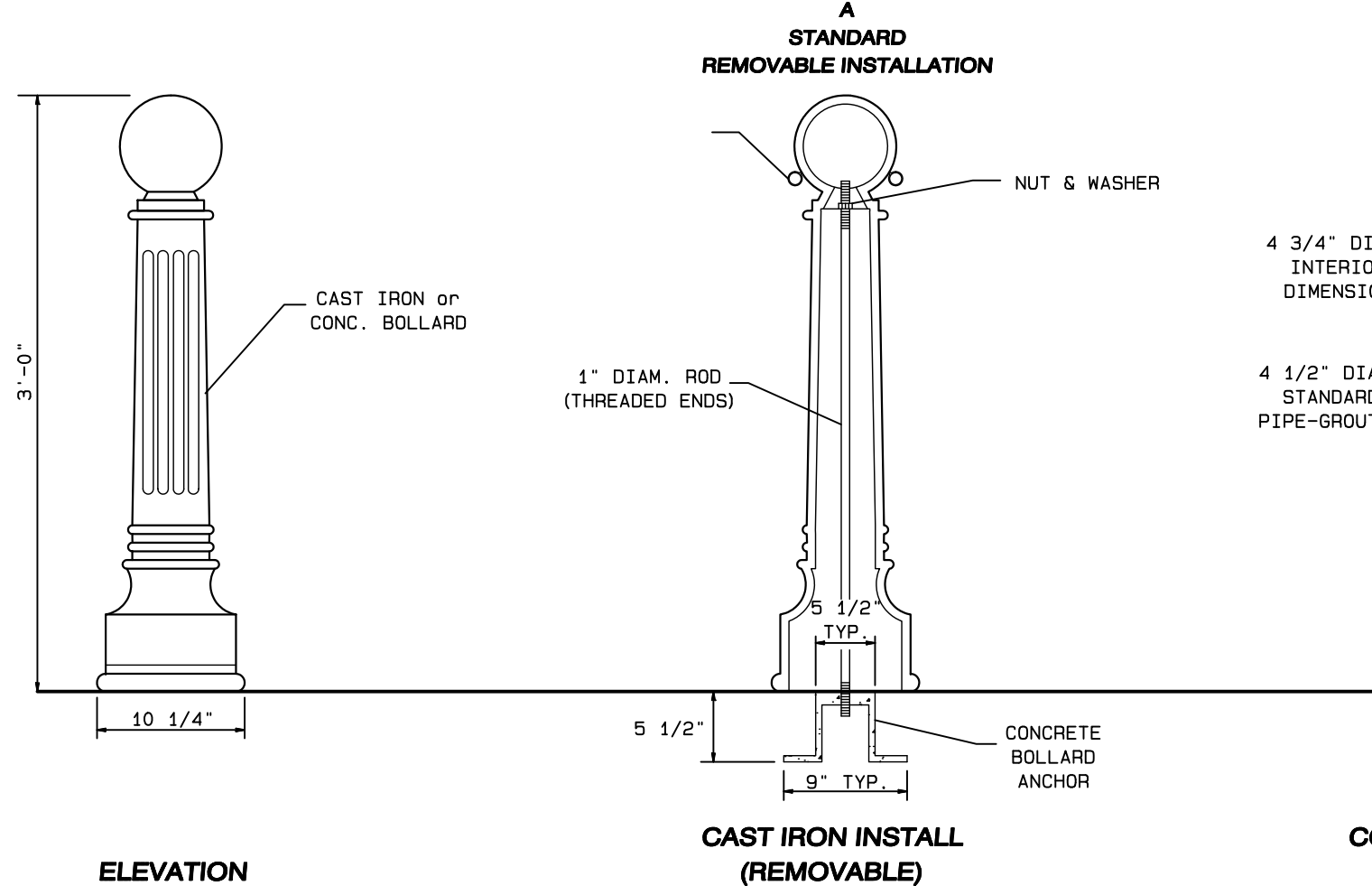
CONCRETE SIDEWALK DETAIL
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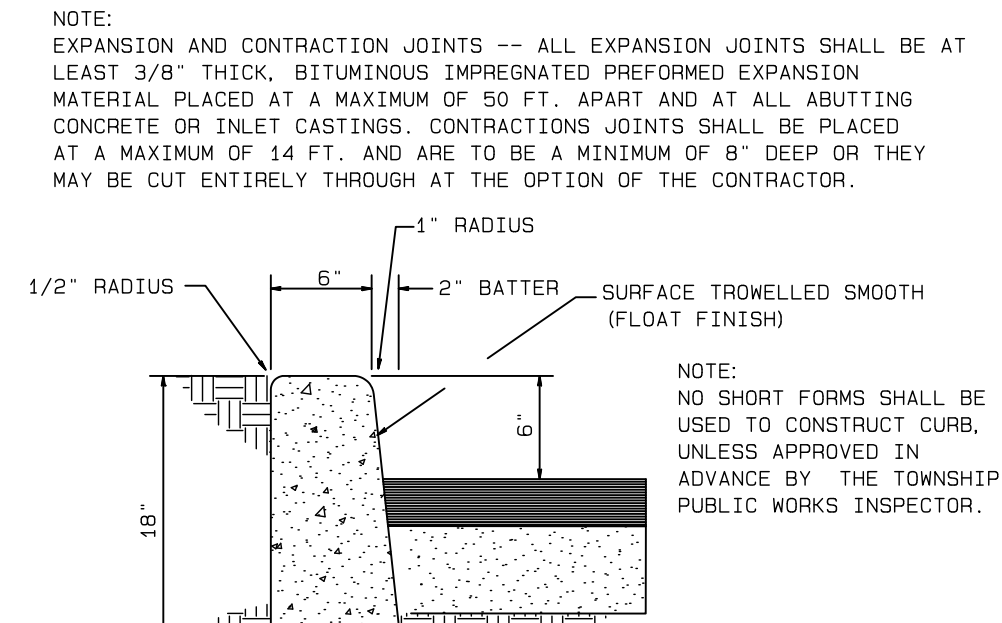
TYPICAL DRIVEWAY DEPRESSION AT FIRE LANE
NOT TO SCALE



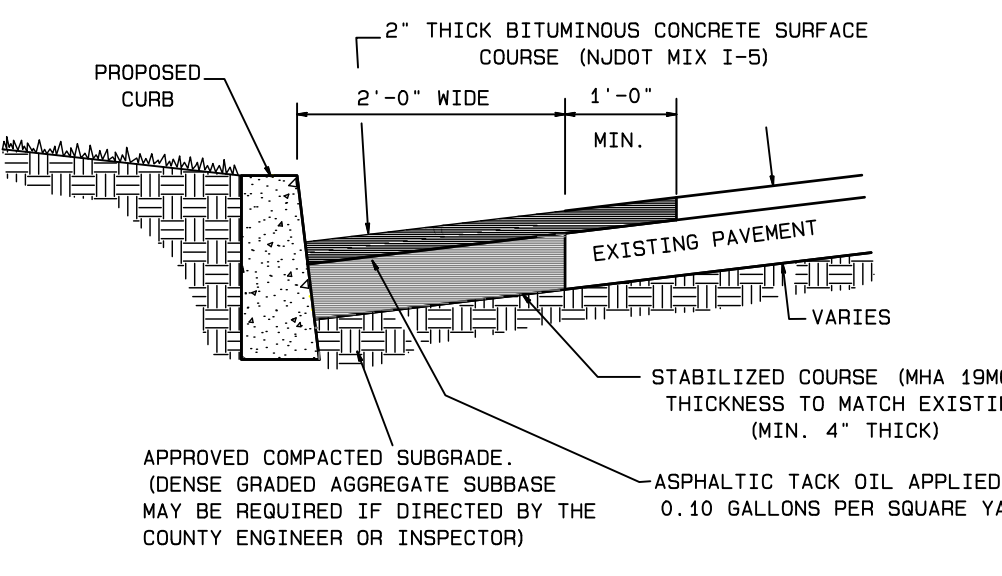
PAVER/GRASS SERVICE ROAD DETAIL
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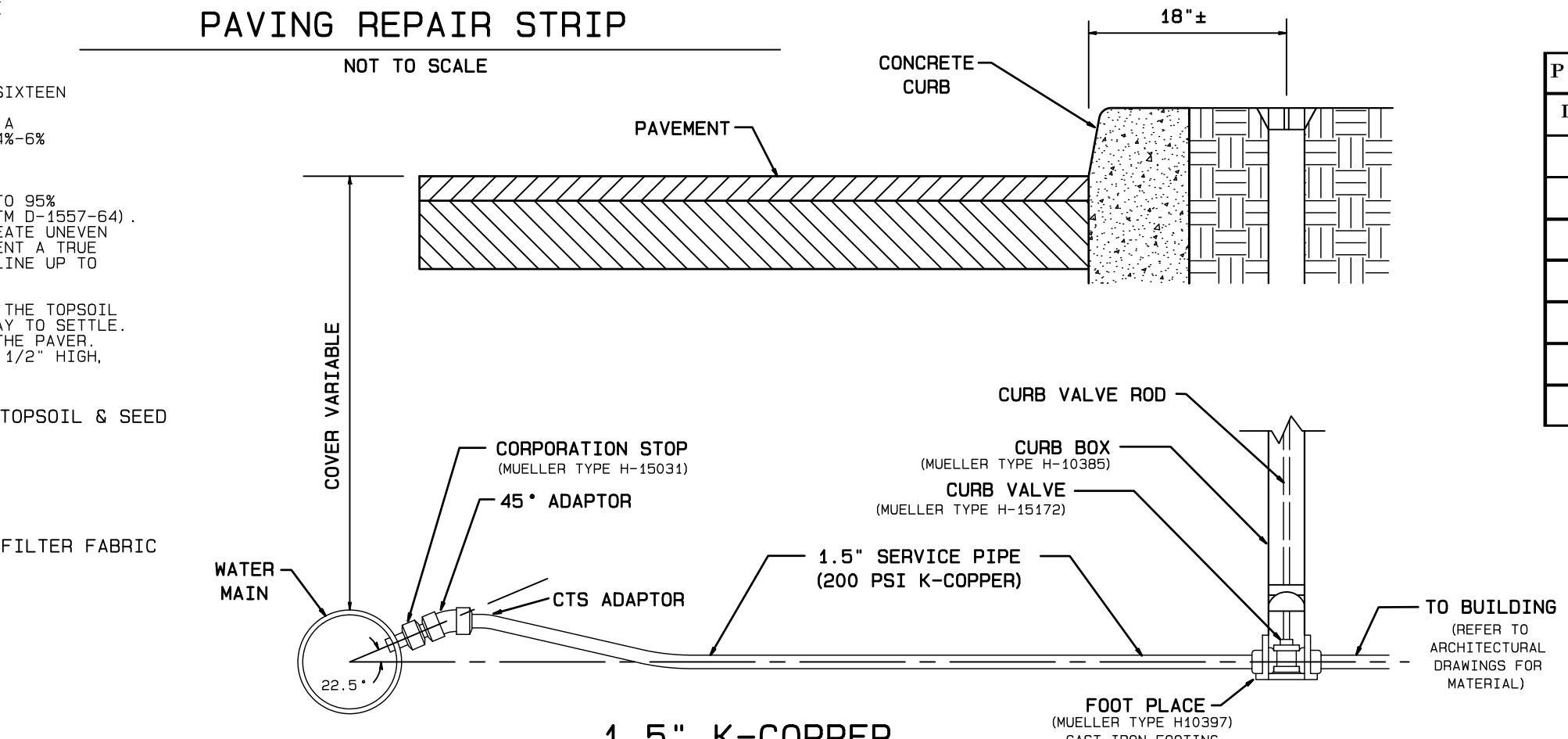
BOLLARD DETAILS
NOT TO SCALE



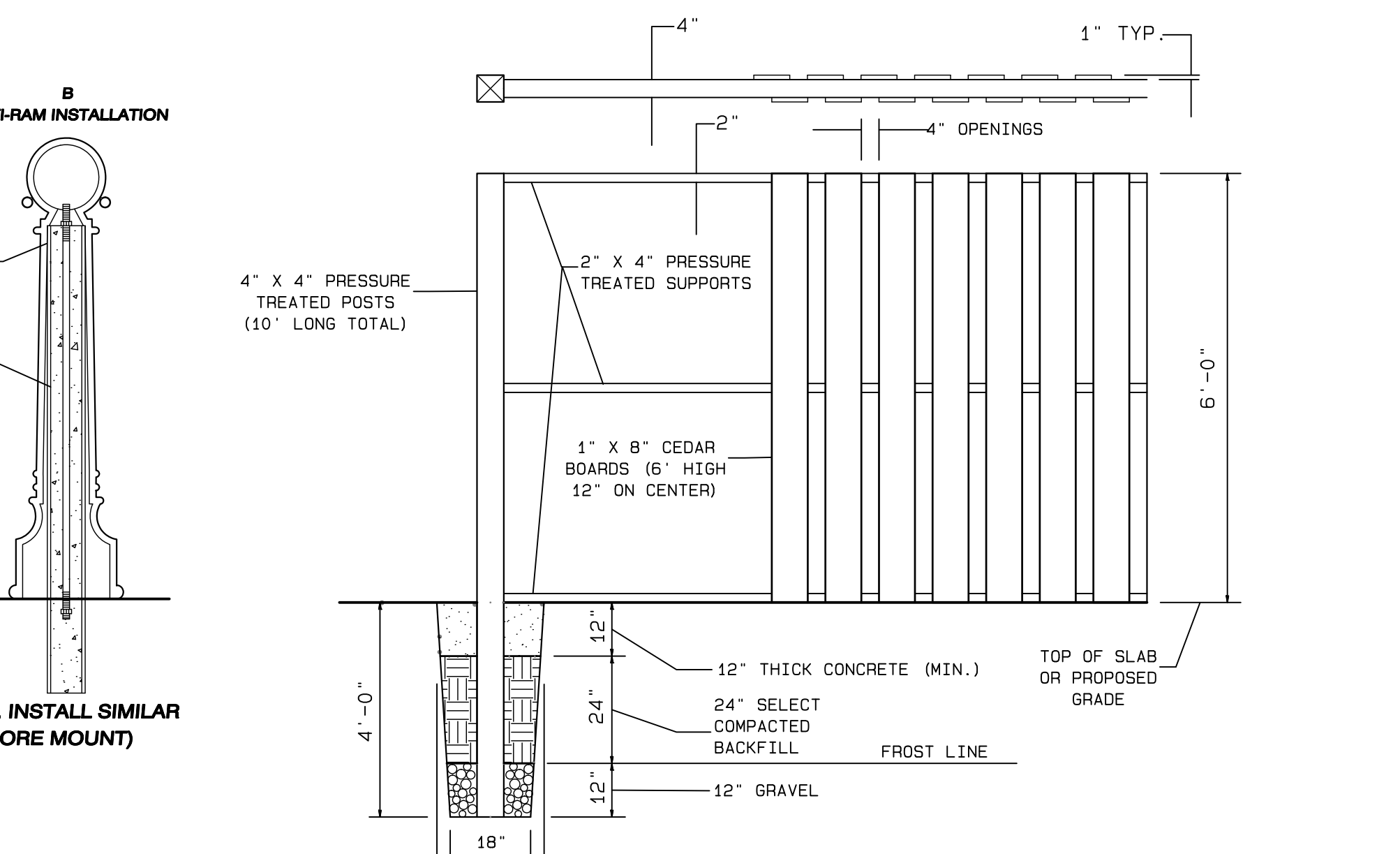
CONCRETE CURB DETAIL
NOT TO SCALE



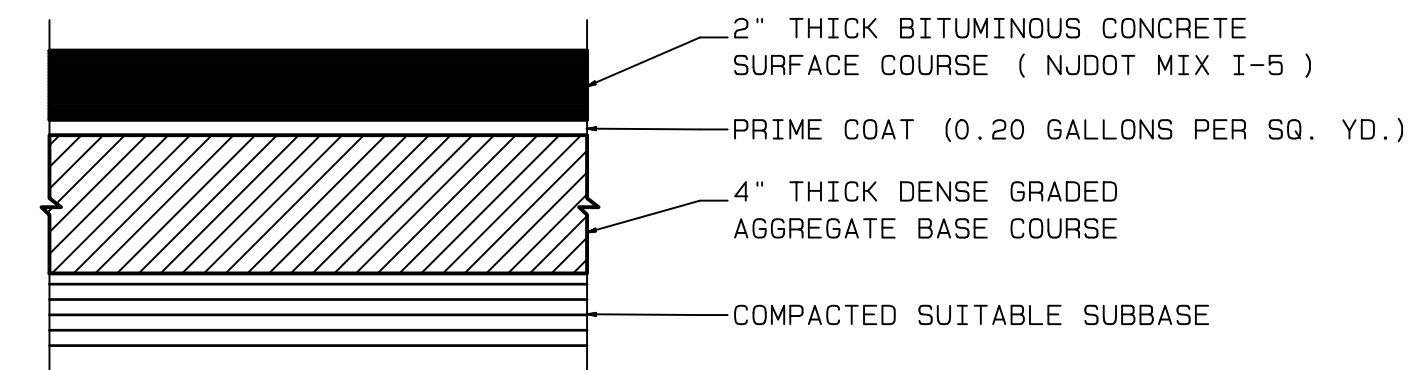
PARKING AREA CURB REPLACEMENT AND PAVING REPAIR STRIP
NOT TO SCALE



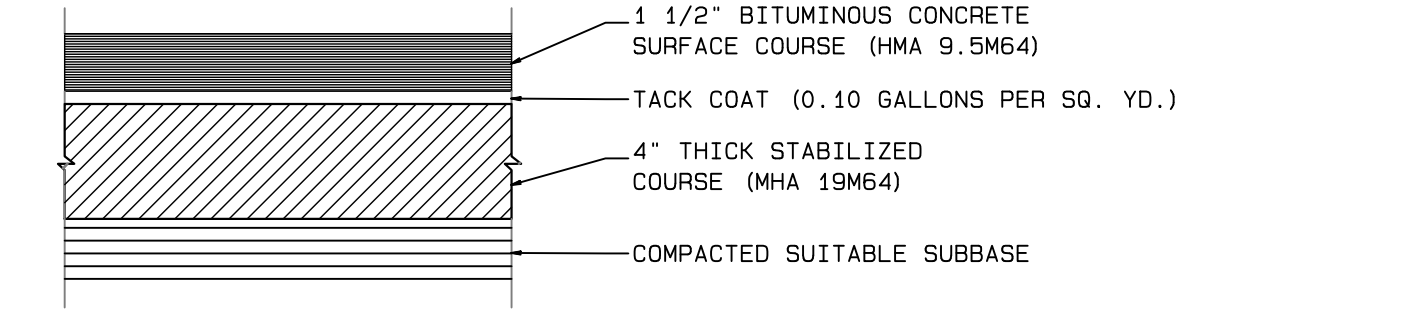
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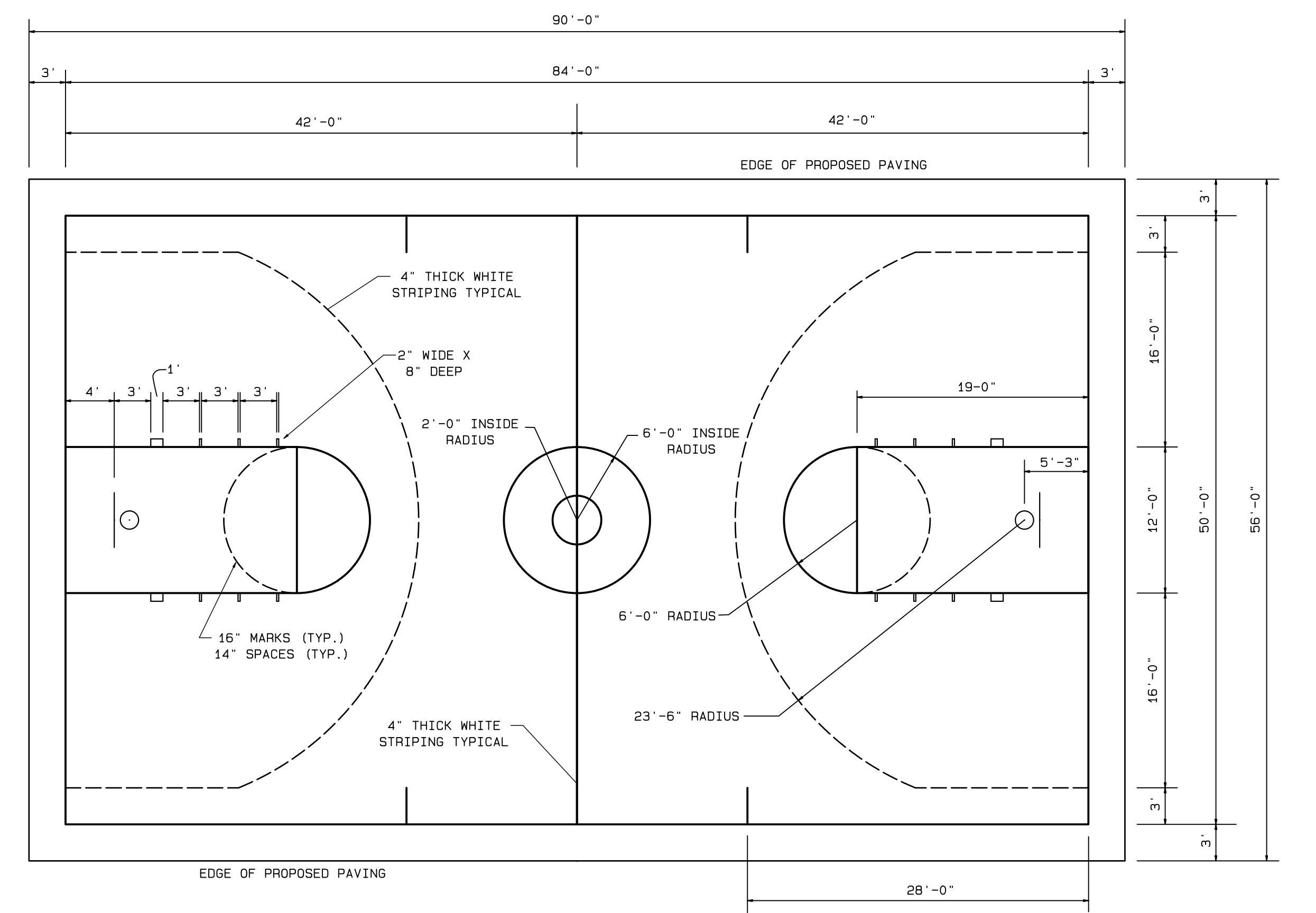
BOARD ON BOARD WOODEN FENCE DETAIL
NOT TO SCALE



BASKETBALL COURT PAVING DETAIL
NOT TO SCALE

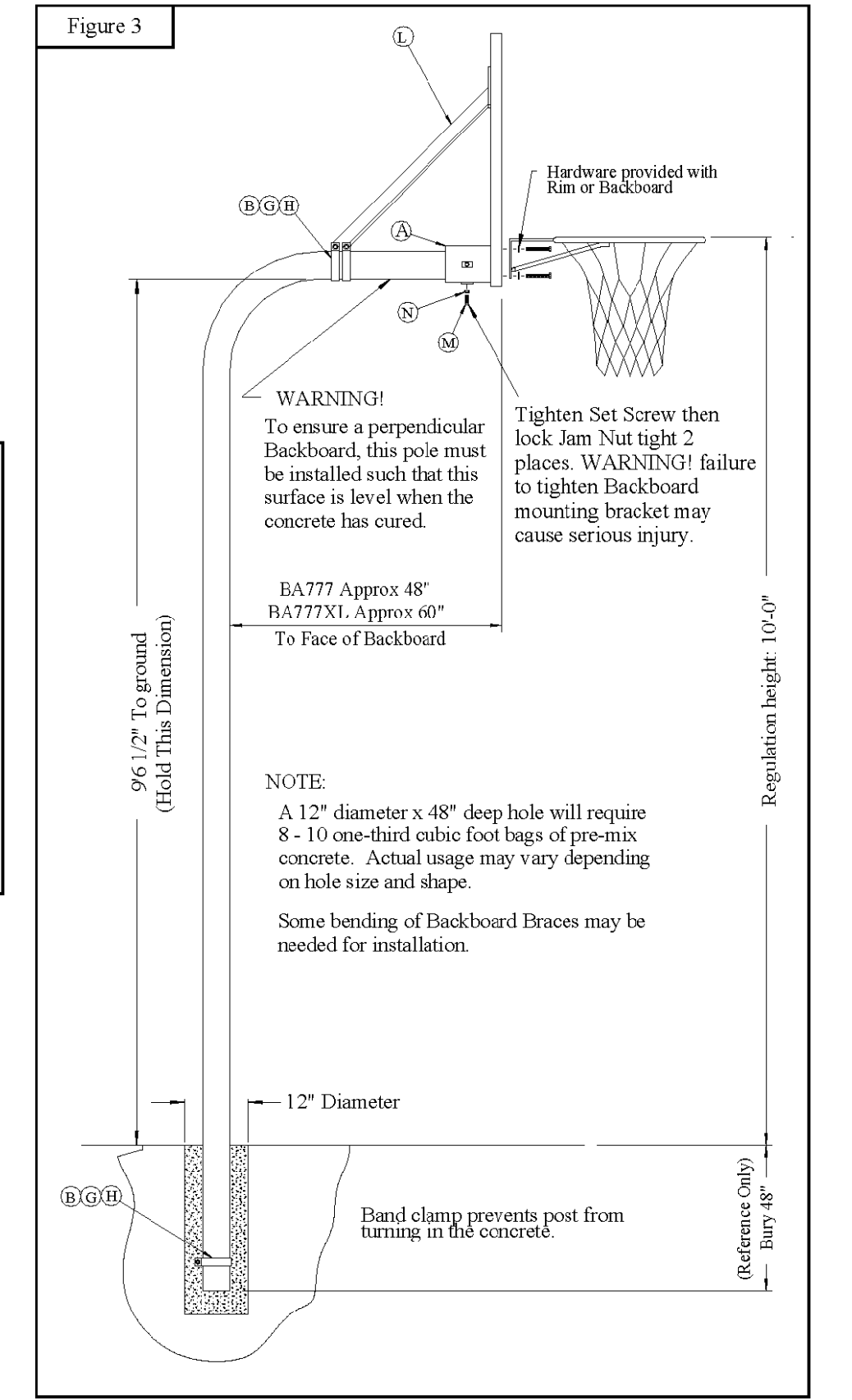
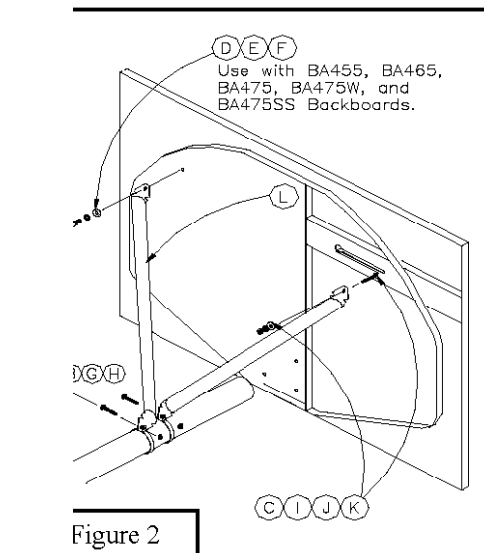
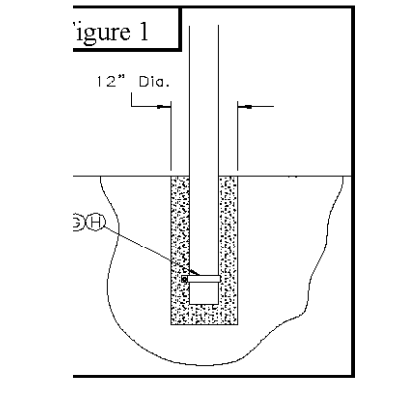


PAVEMENT DETAIL FOR DRIVEWAY
N.T.S.



BASKETBALL COURT LAYOUT DETAIL
NOT TO SCALE

PARTS LIST					
Item	Qty	Description	Item	Qty	Description
A	1	Backboard Mounting Bracket	H	3	5/16" Flange Nut
B	3	4-1/2" Band Clamp	I	2	7/16" Flat Washer
C	2	7/16" x 2" Carriage Bolt	J	2	7/16" Lock Washer
D	2	3/8" x 1" Hex Bolt	K	2	7/16" Hex Nut
E	2	3/8" Flat Washer	L	2	Backboard Brace
F	2	3/8" Lock Washer	M	2	1/2" Set Screw, Square Head
G	3	5/16" x 2" Carriage Bolt	N	2	1/2" Jam Nut

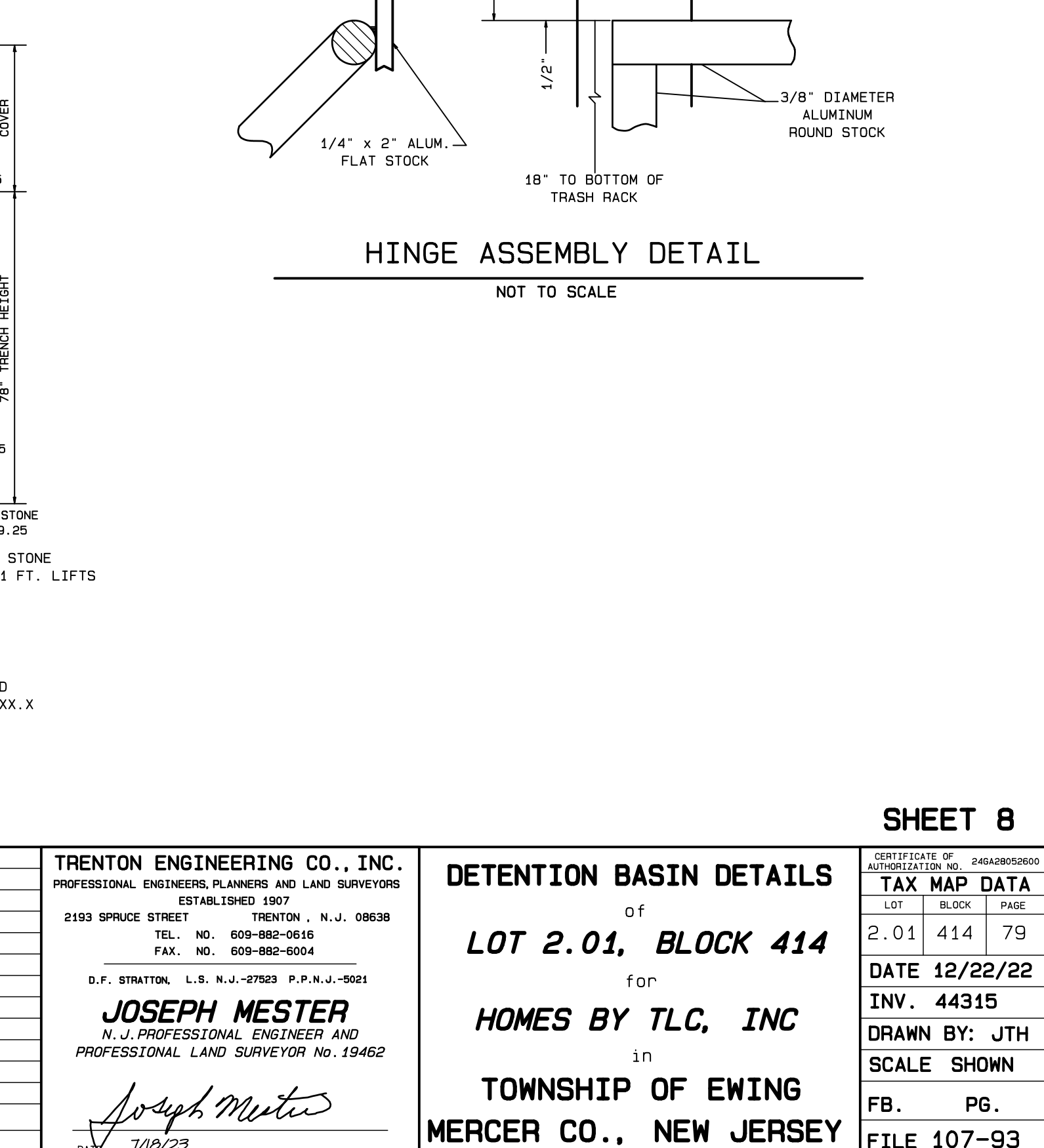
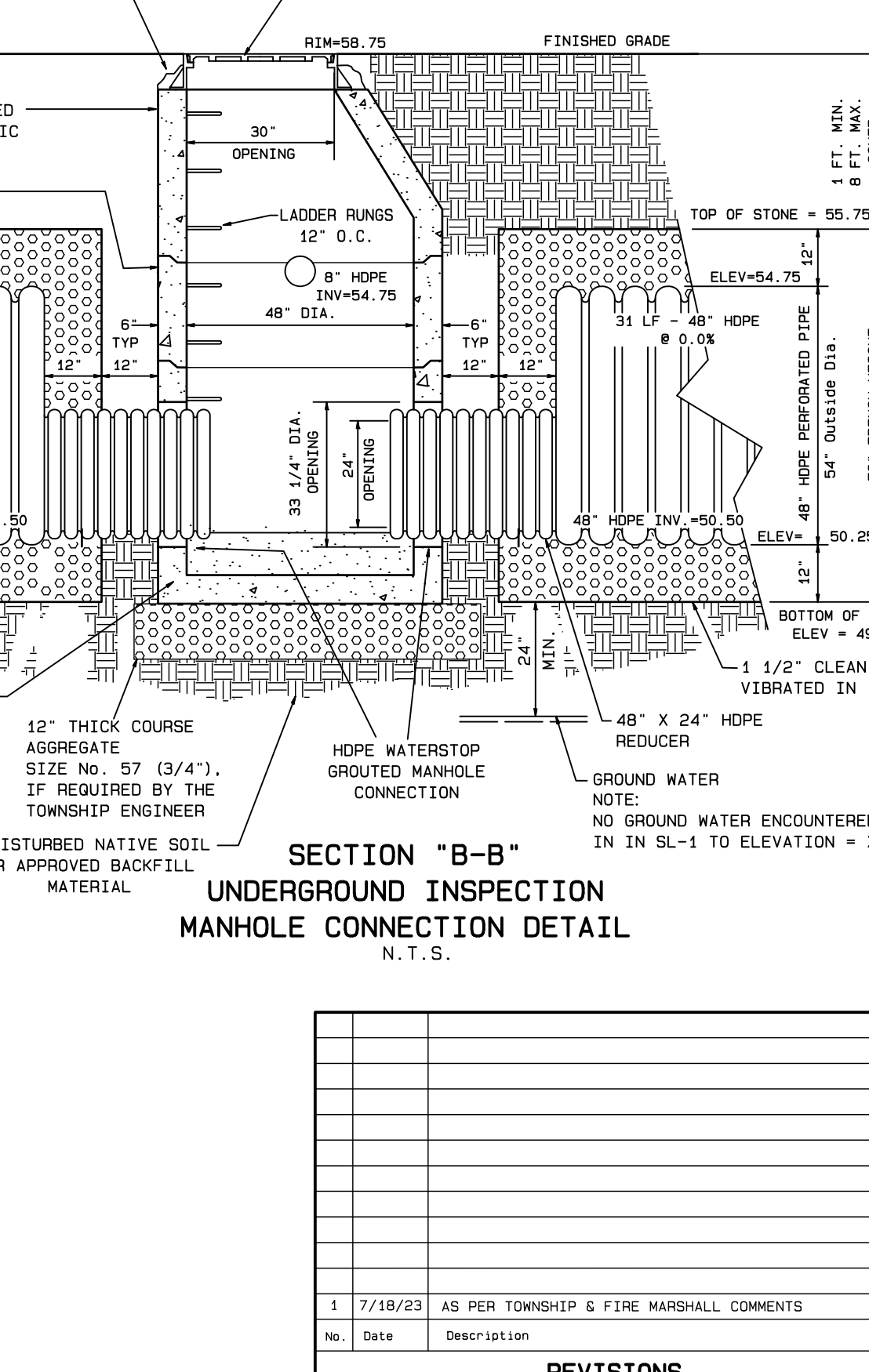
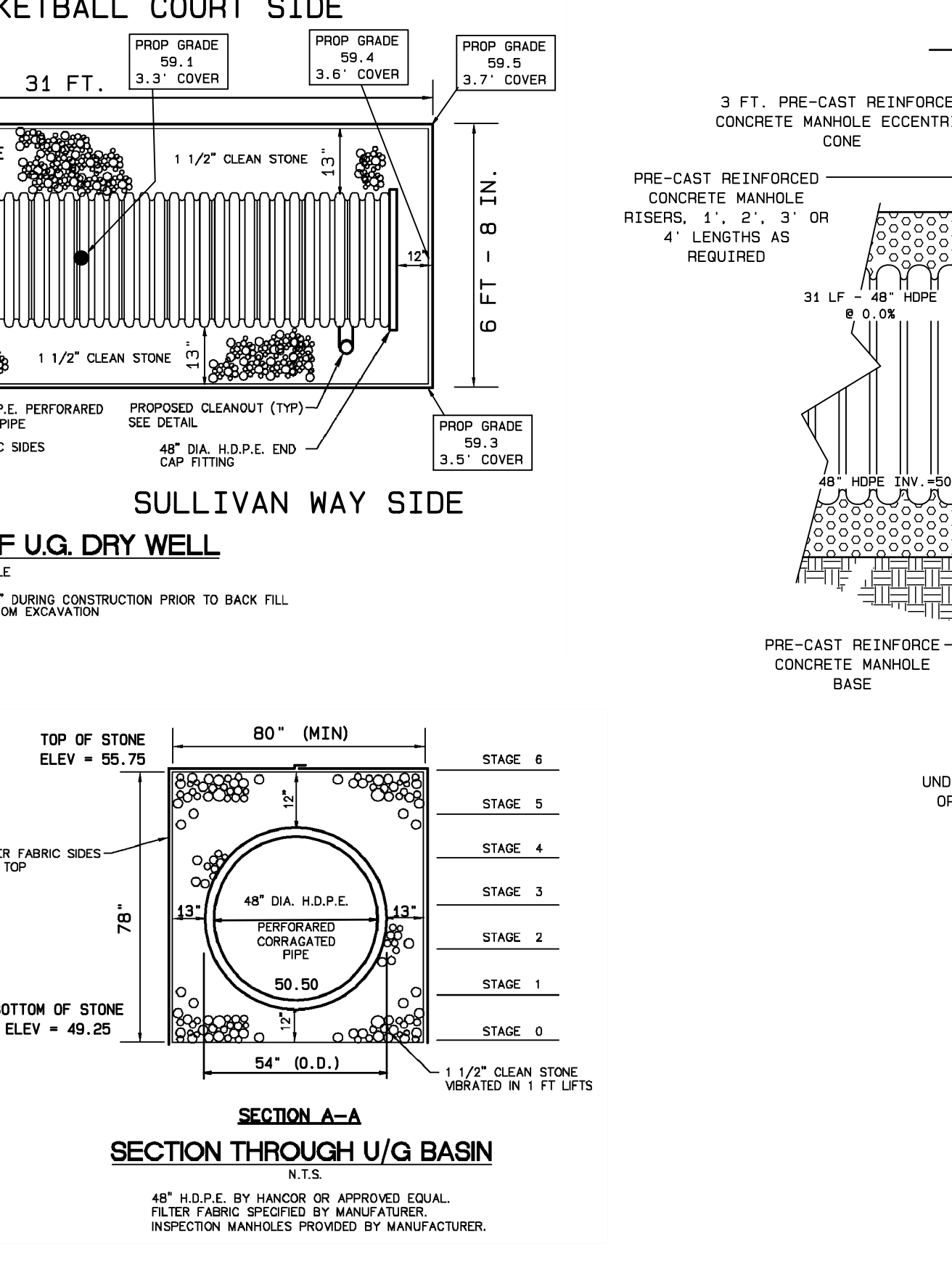
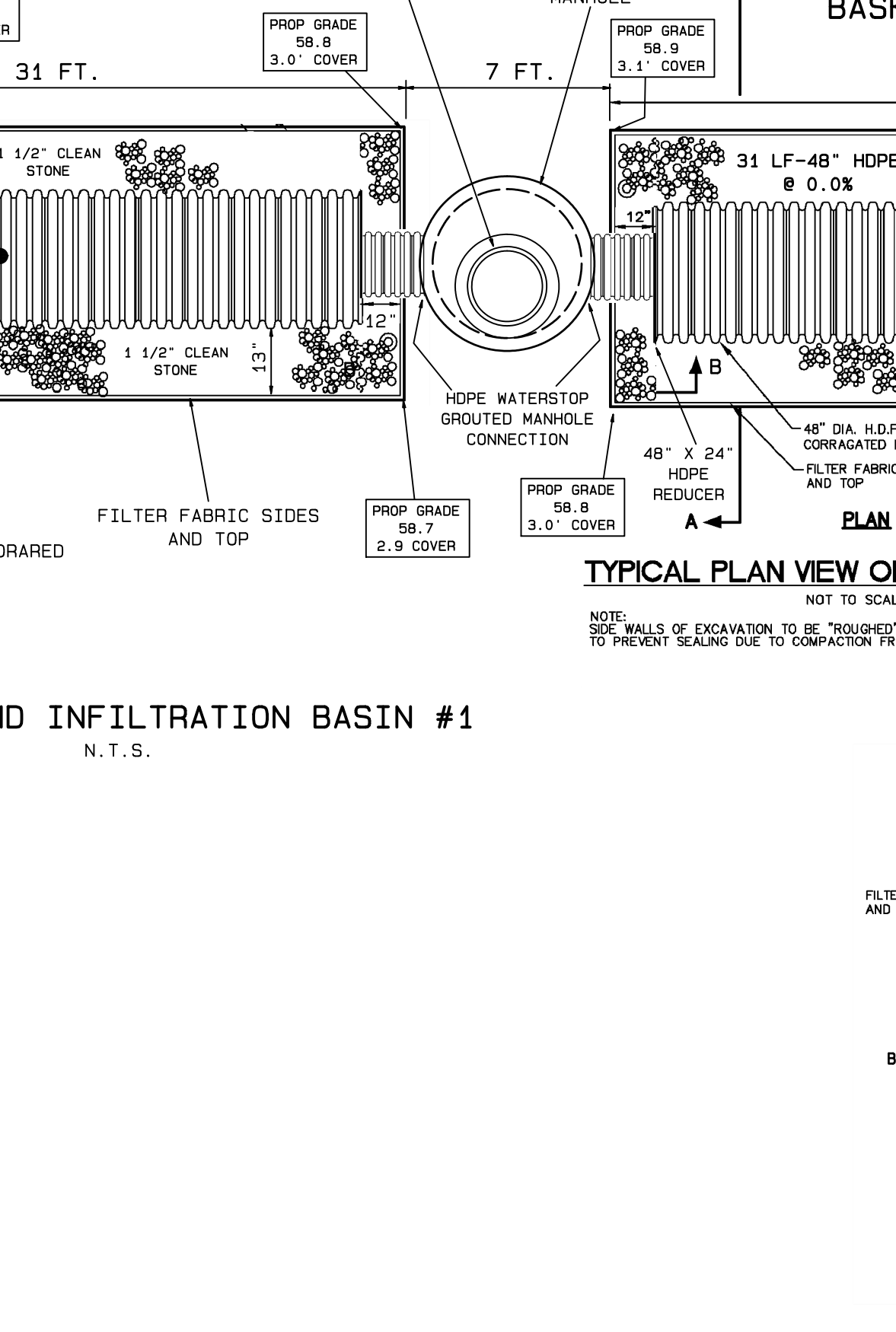
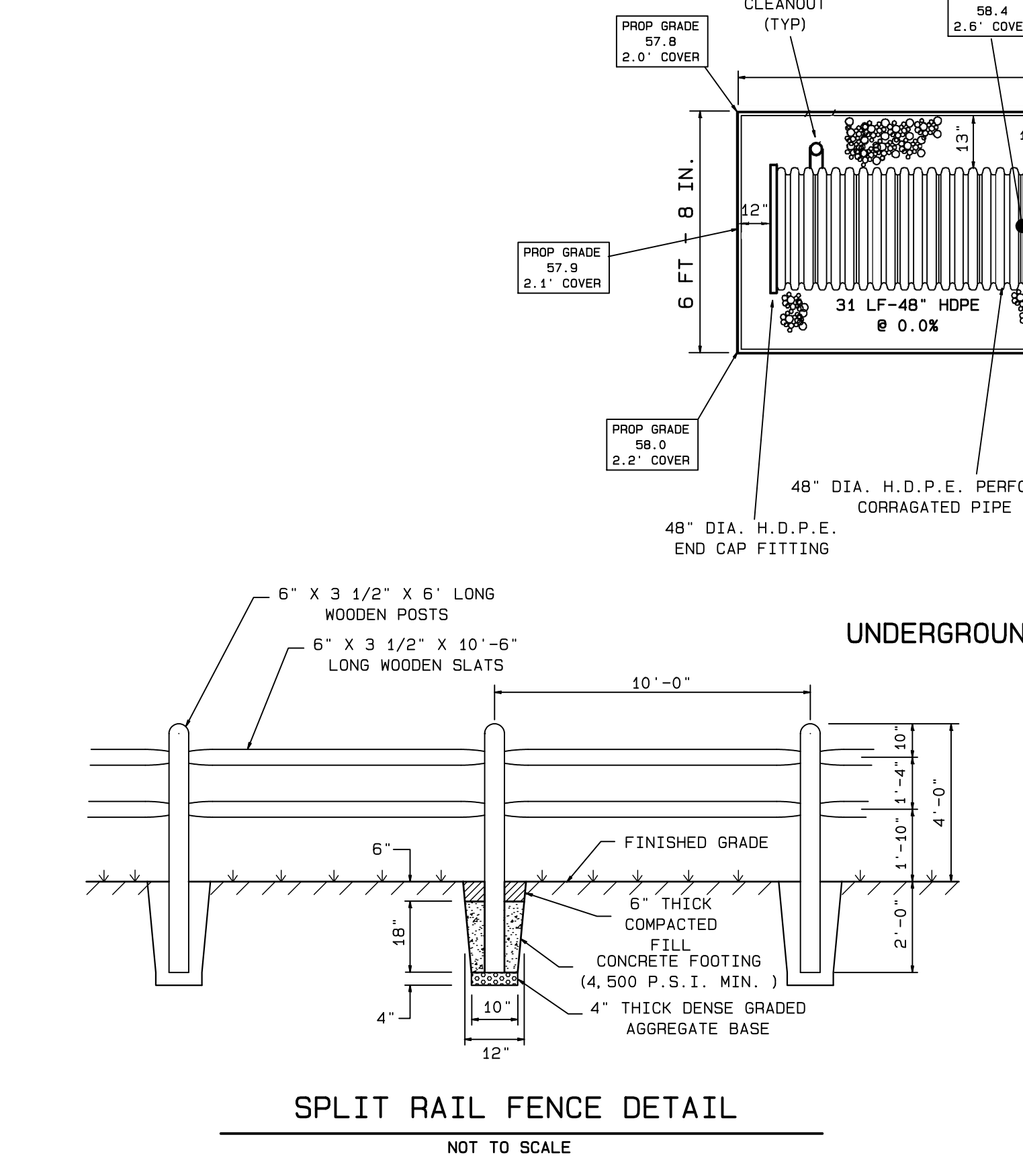
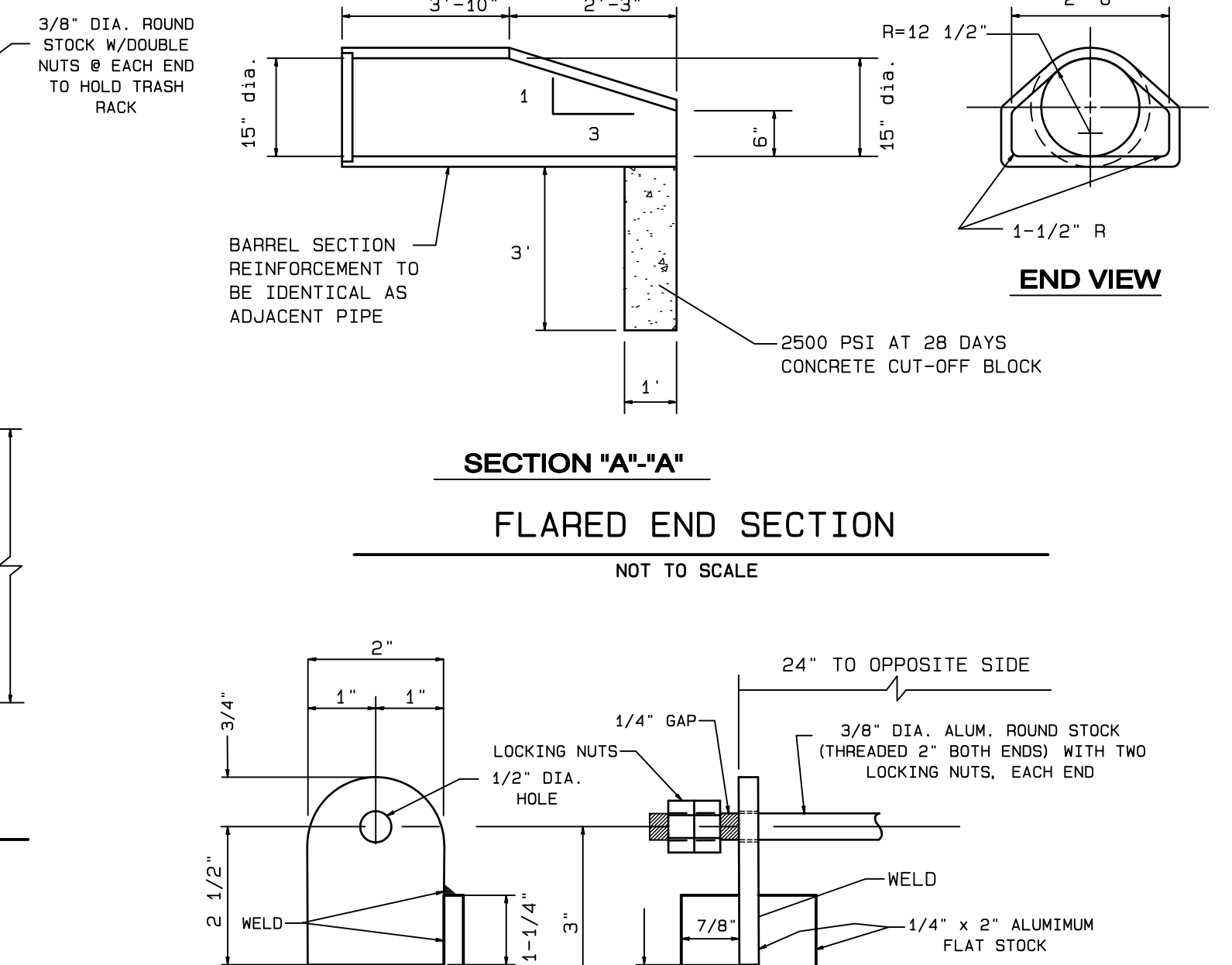
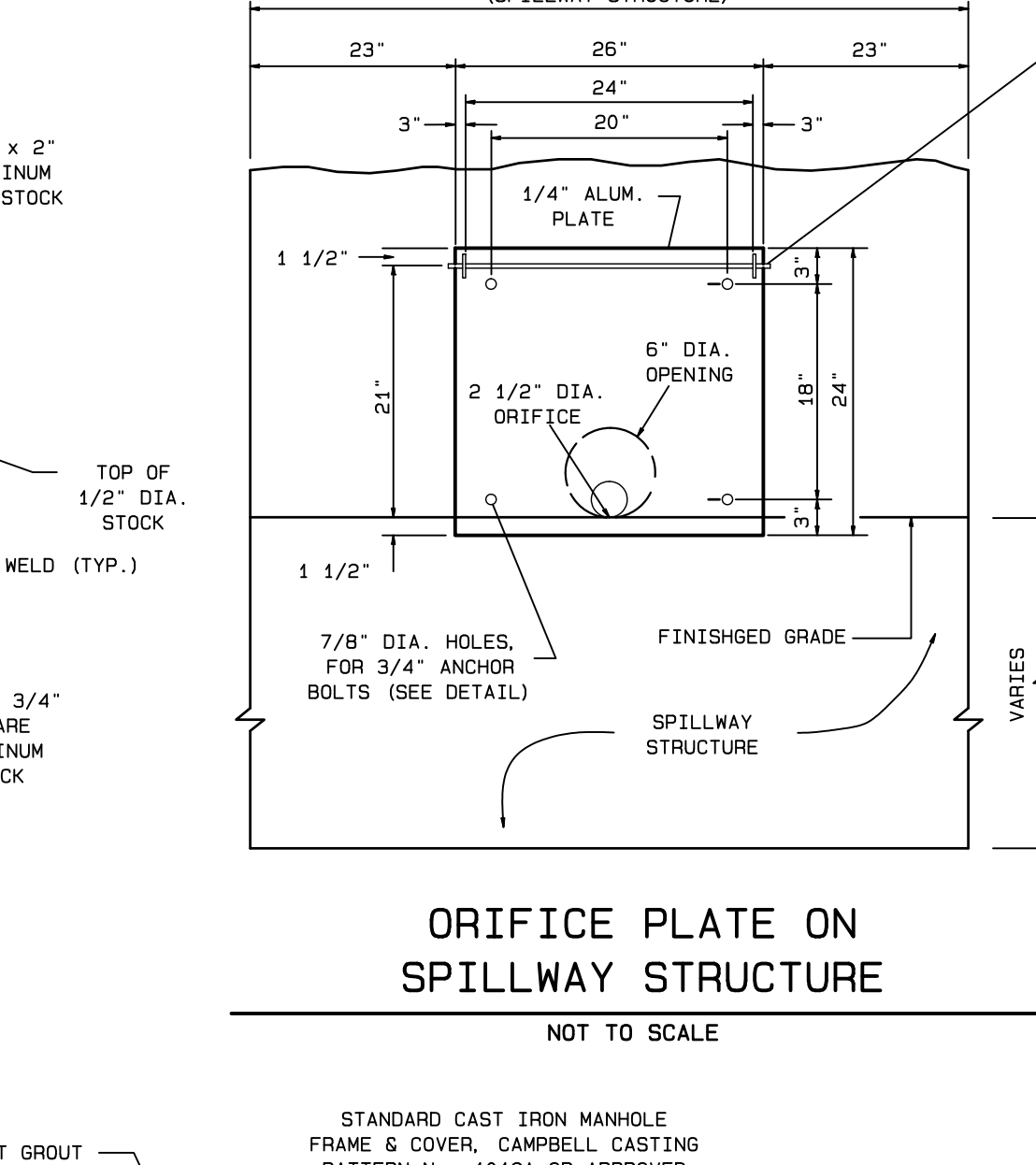
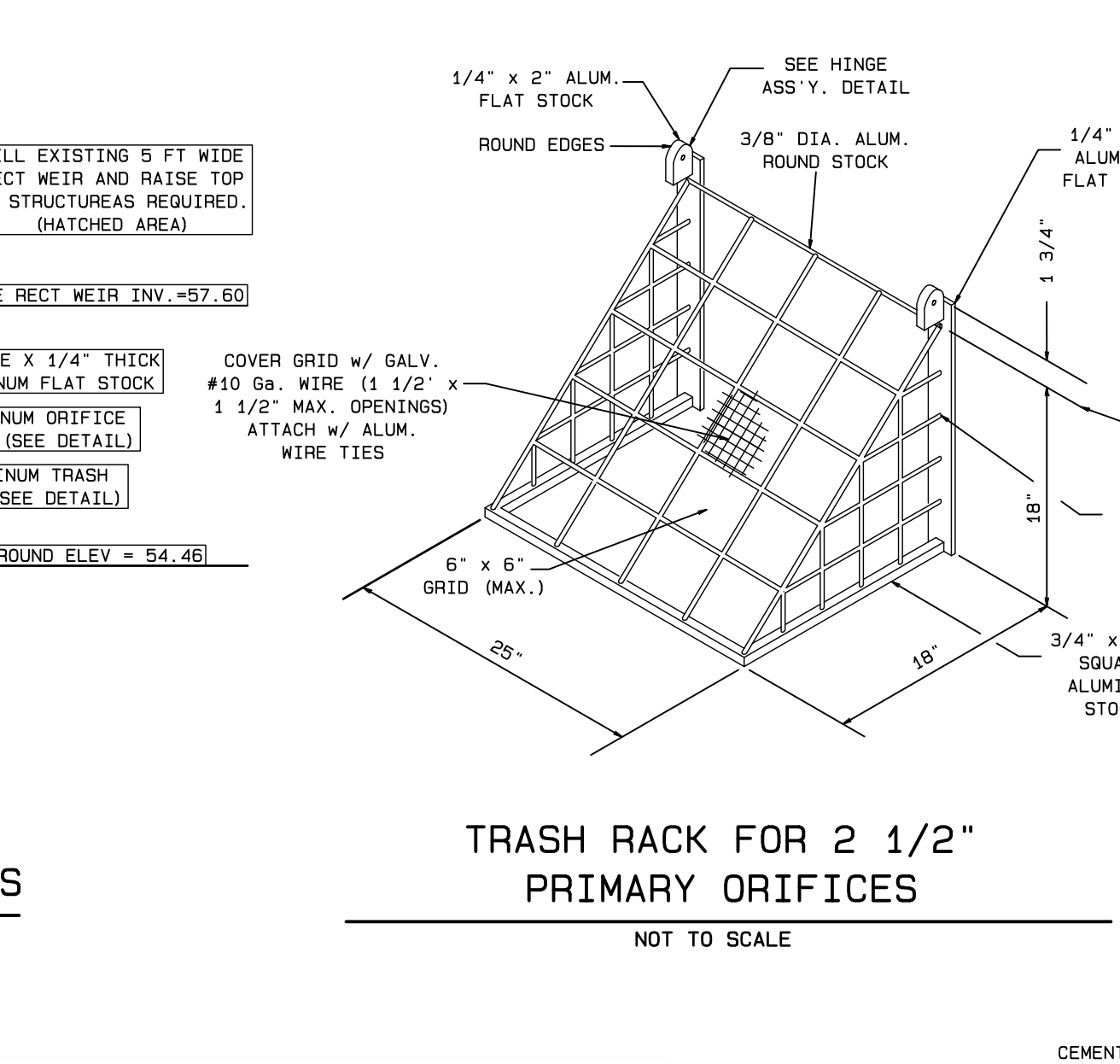
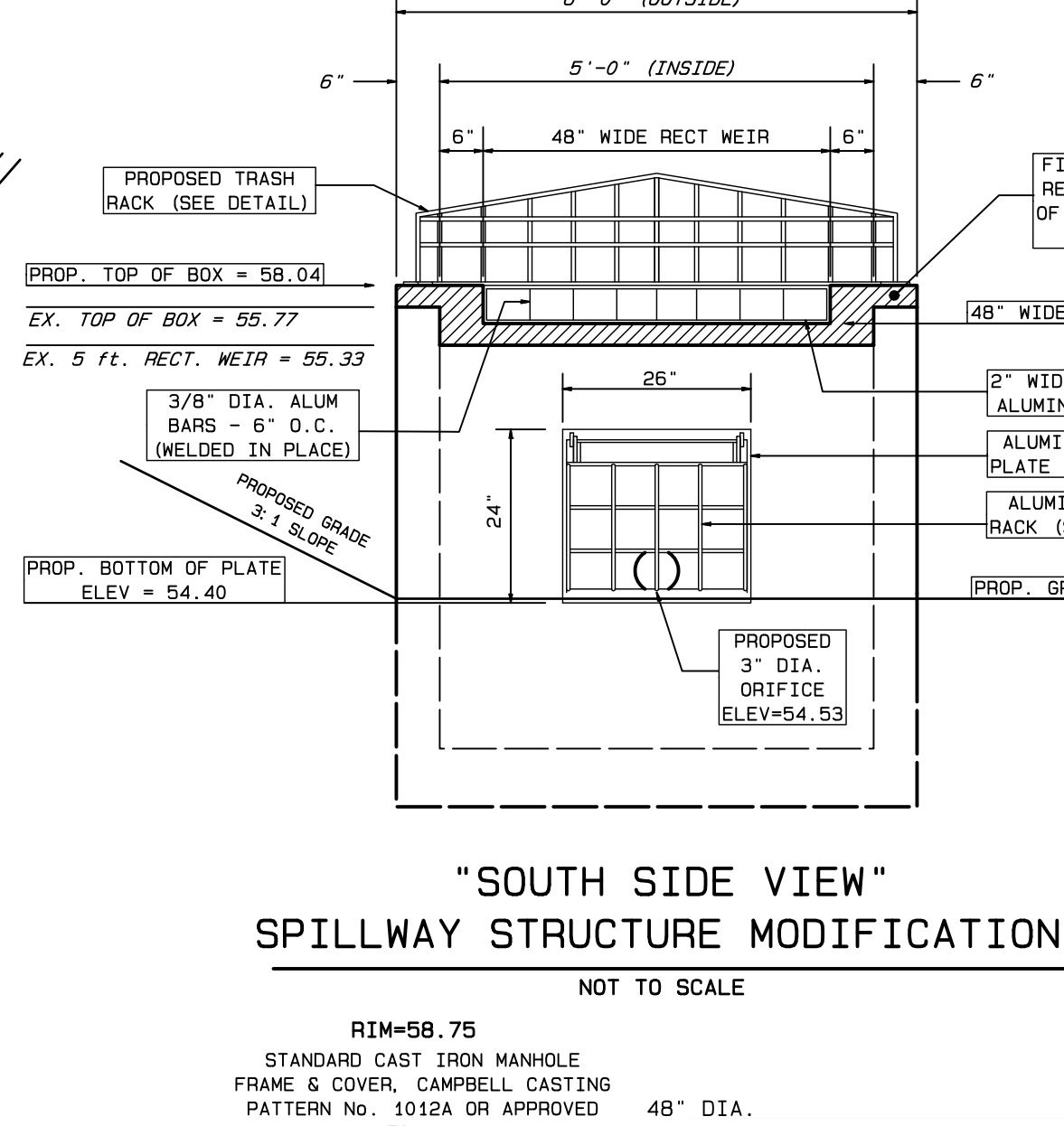
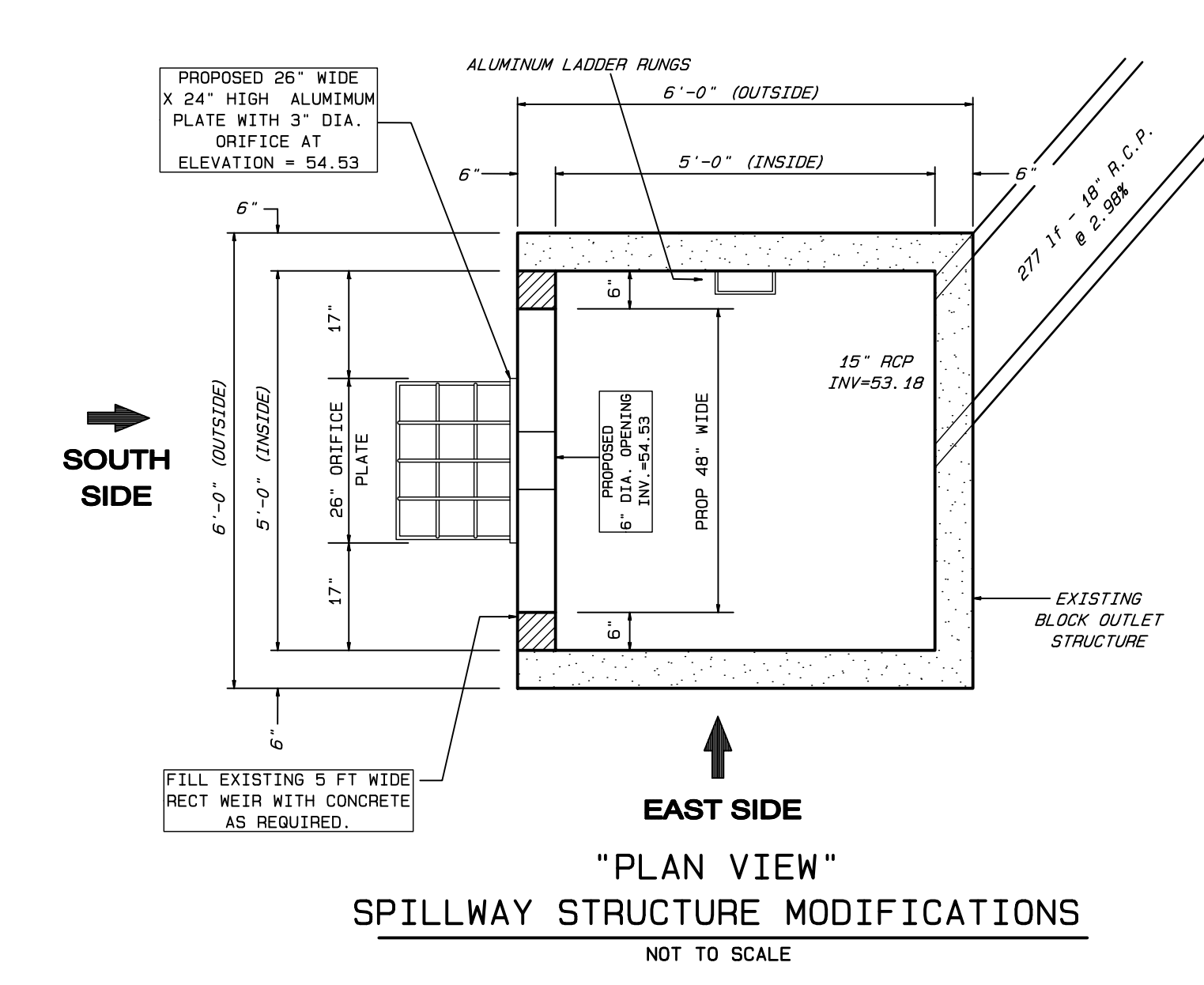
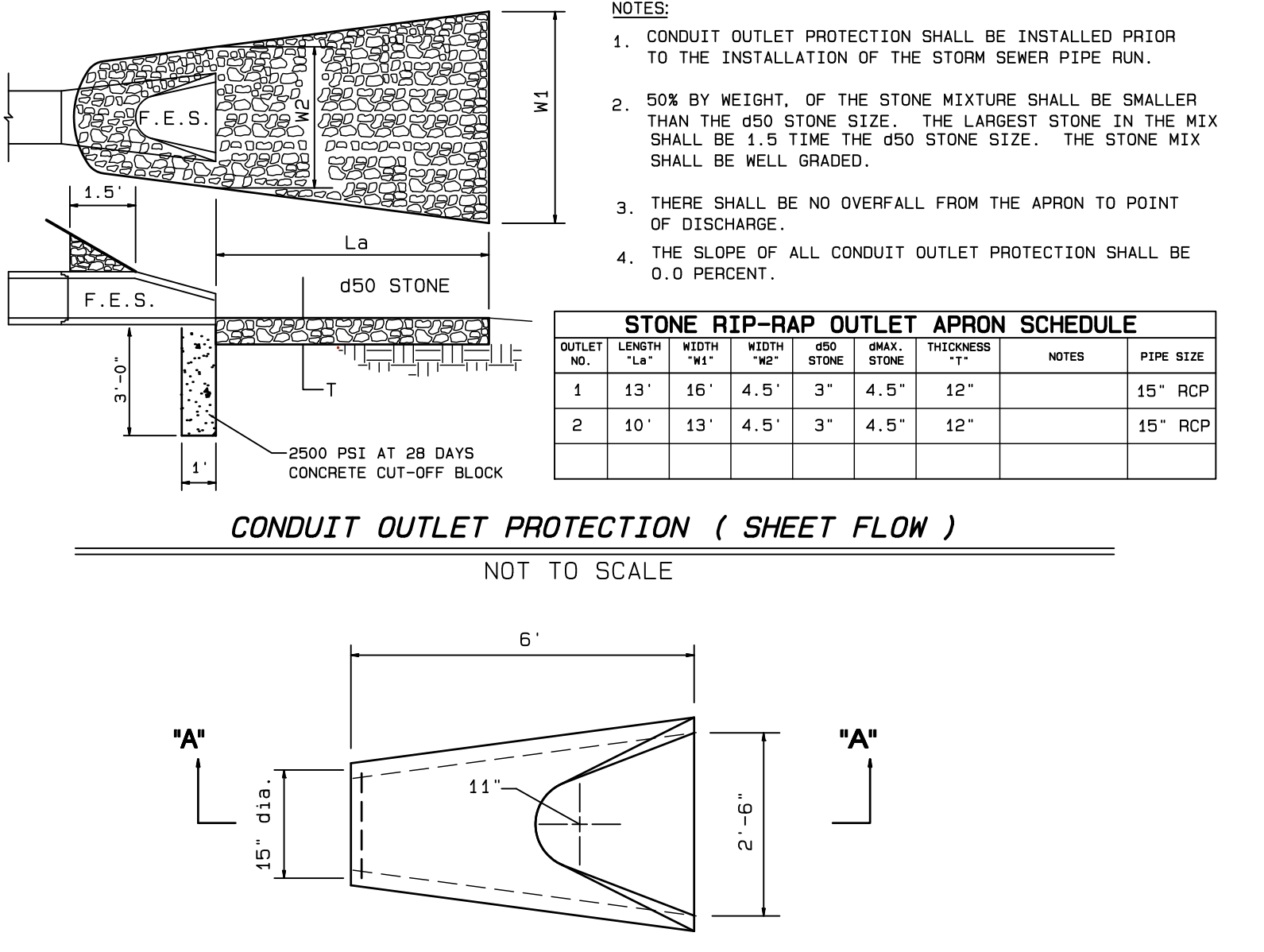
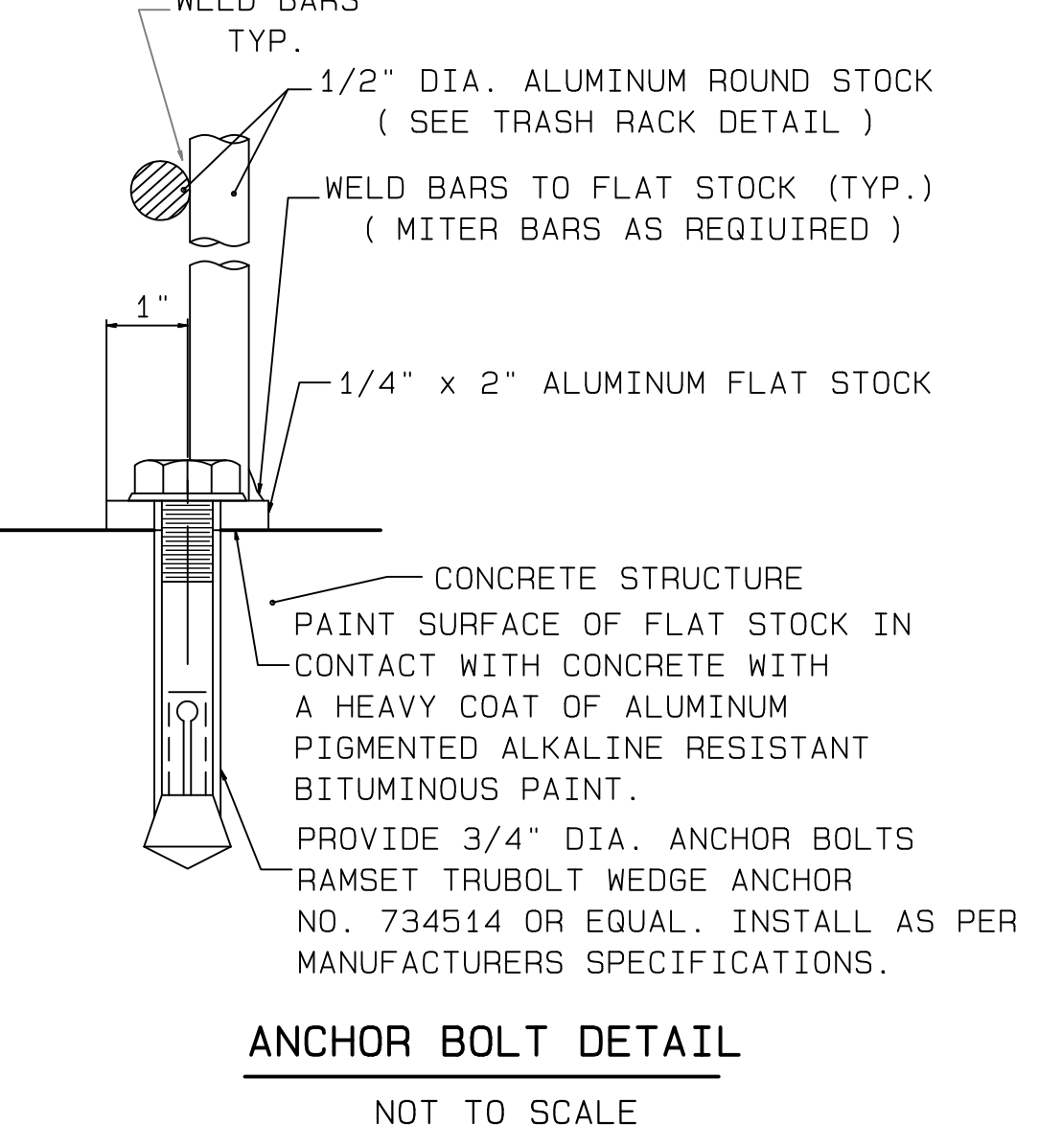
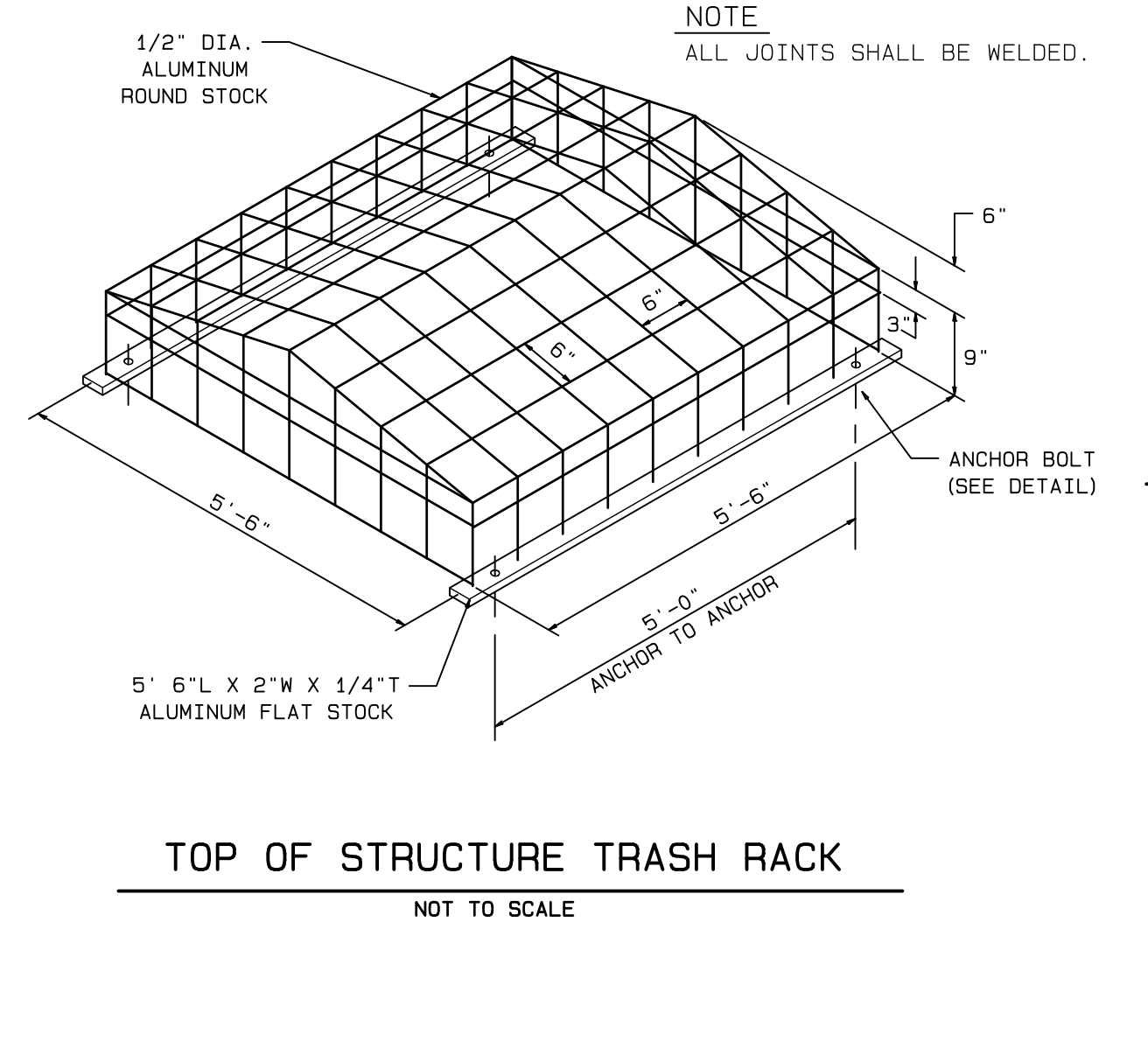
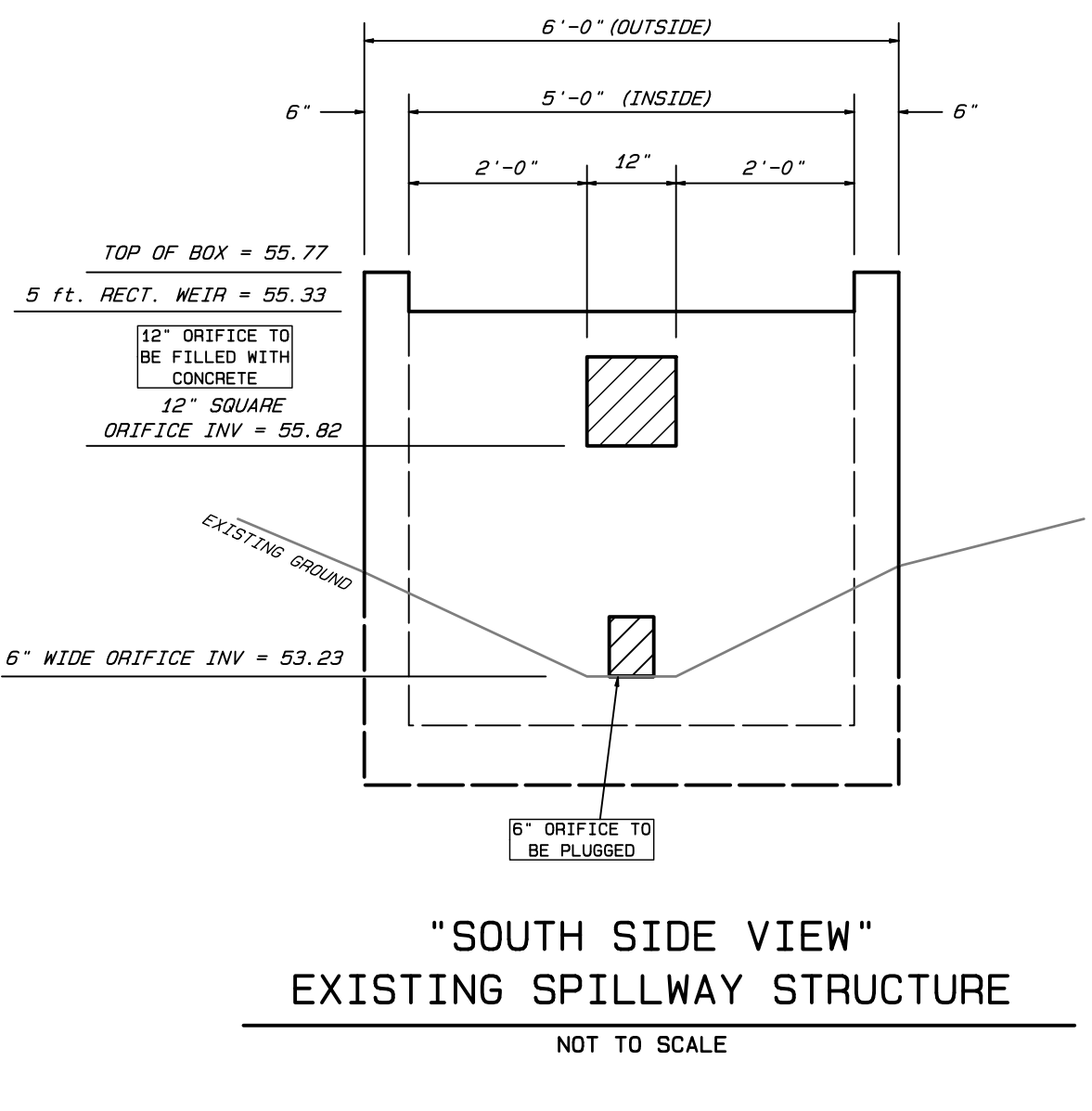
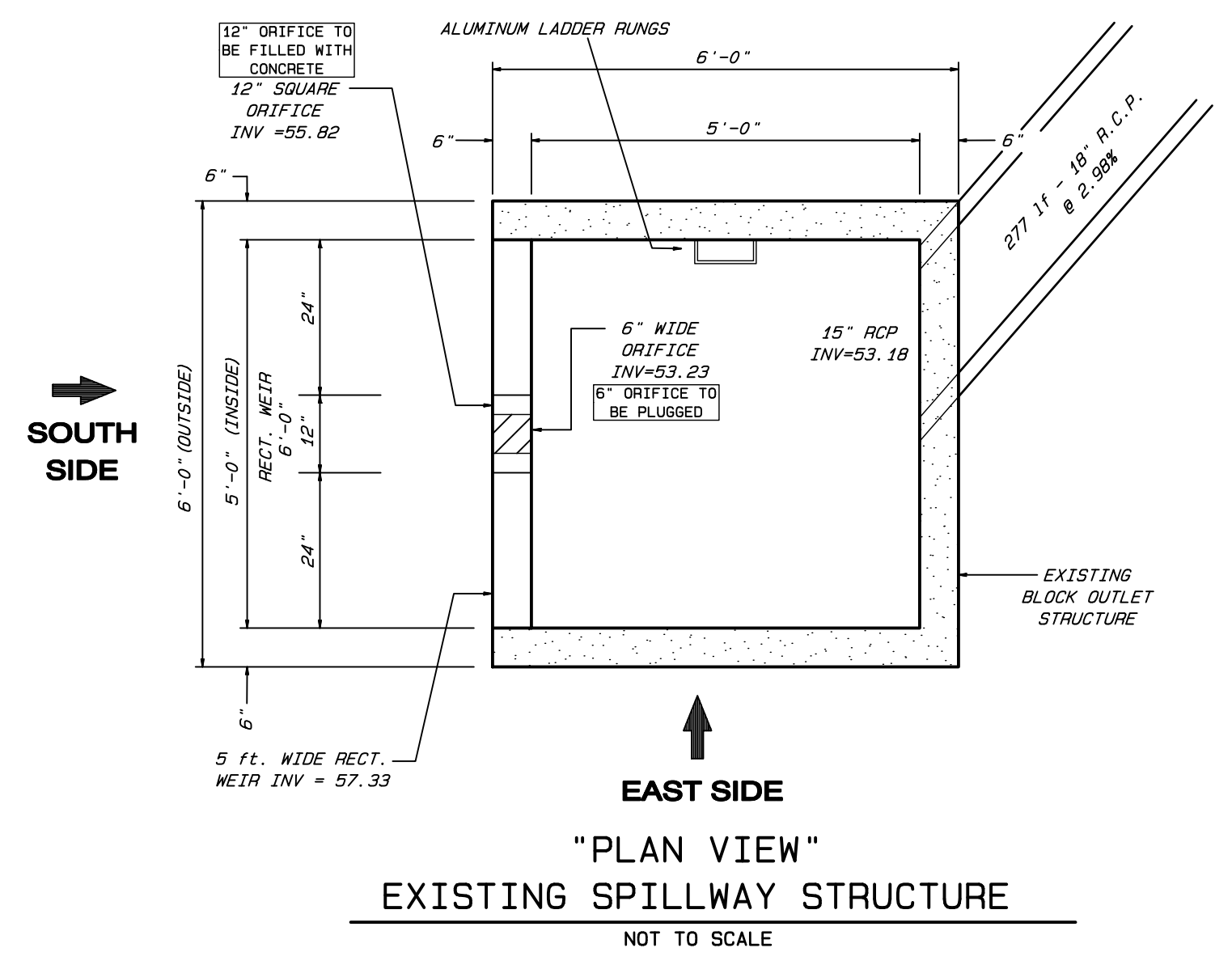


No.	Date	Description
1	7/18/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
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D.F. STRATTON, L.S. N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462
Joseph Mester
DATE 7/18/23

CONSTRUCTION DETAILS
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 7
CERTIFICATE OF AUTHORIZATION NO. 24842052000
TAX MAP DATA
LOT BLOCK PAGE
2.01 414 79
DATE 12/22/22
INV. 44315
DRAWN BY: JTH
SCALE SHOWN
FB. PG.
FILE 107-93



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JOSEPH MESTER
 N.J. PROFESSIONAL ENGINEER AND
 PROFESSIONAL LAND SURVEYOR No. 19462

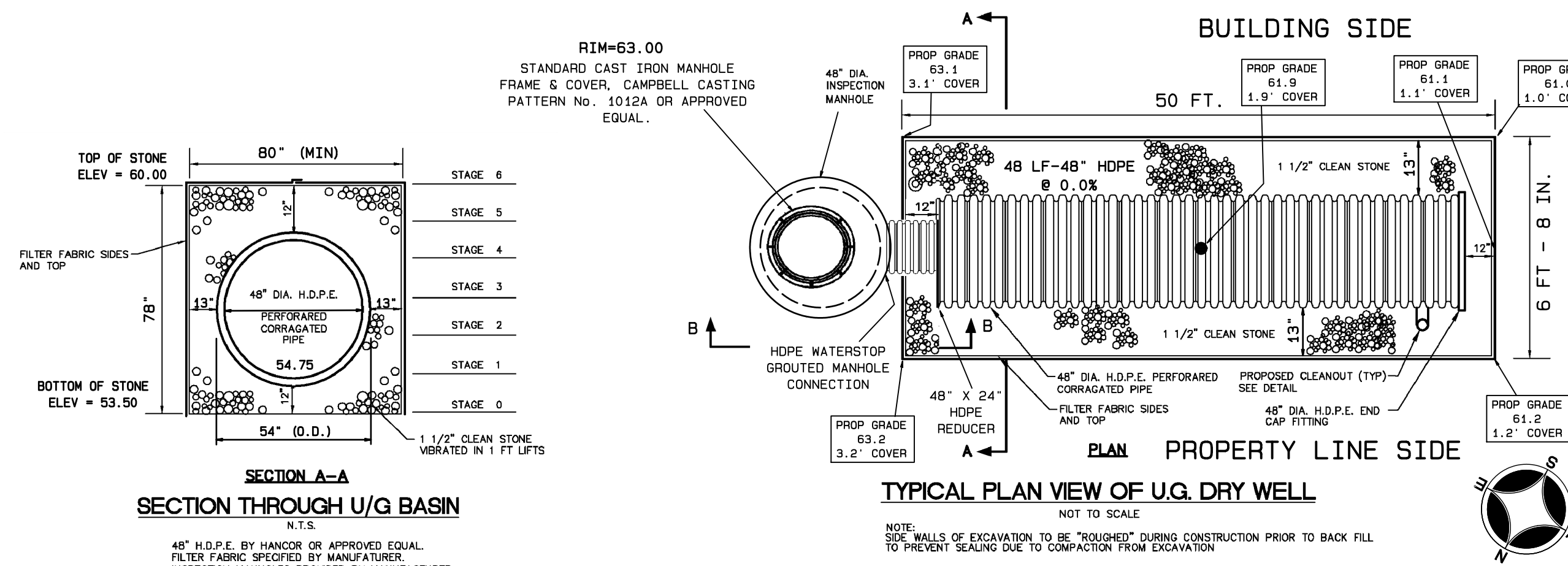
DETENTION BASIN DETAILS
 of
LOT 2.01, BLOCK 414
 for
HOMES BY TLC, INC
 in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE NO. 24848050900
TAX MAP DATA
 LOT BLOCK PAGE
 2.01 414 79
 DATE 12/22/22
 INV. 44315
 DRAWN BY: JTH
 SCALE SHOWN
 FB. PG.
 FILE 107-93

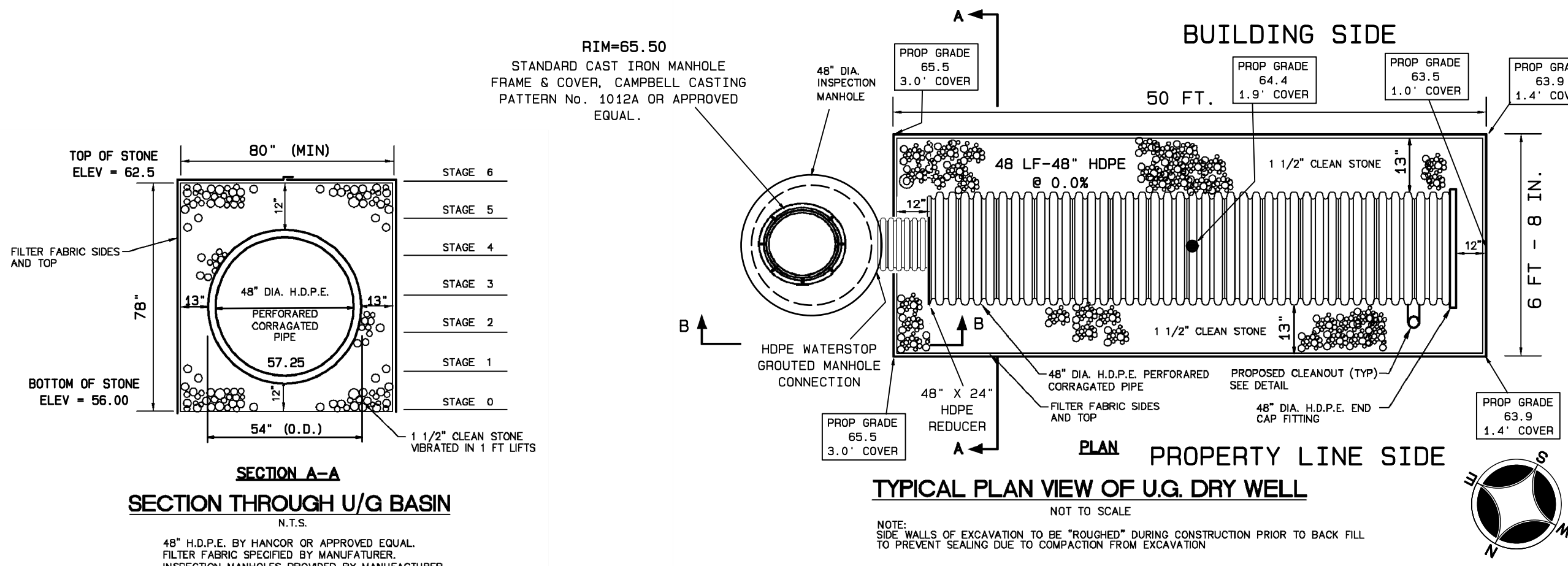
1/18/23 AS PER TOWNSHIP & FIRE MARSHALL COMMENTS
 No. Date Description

REVISIONS

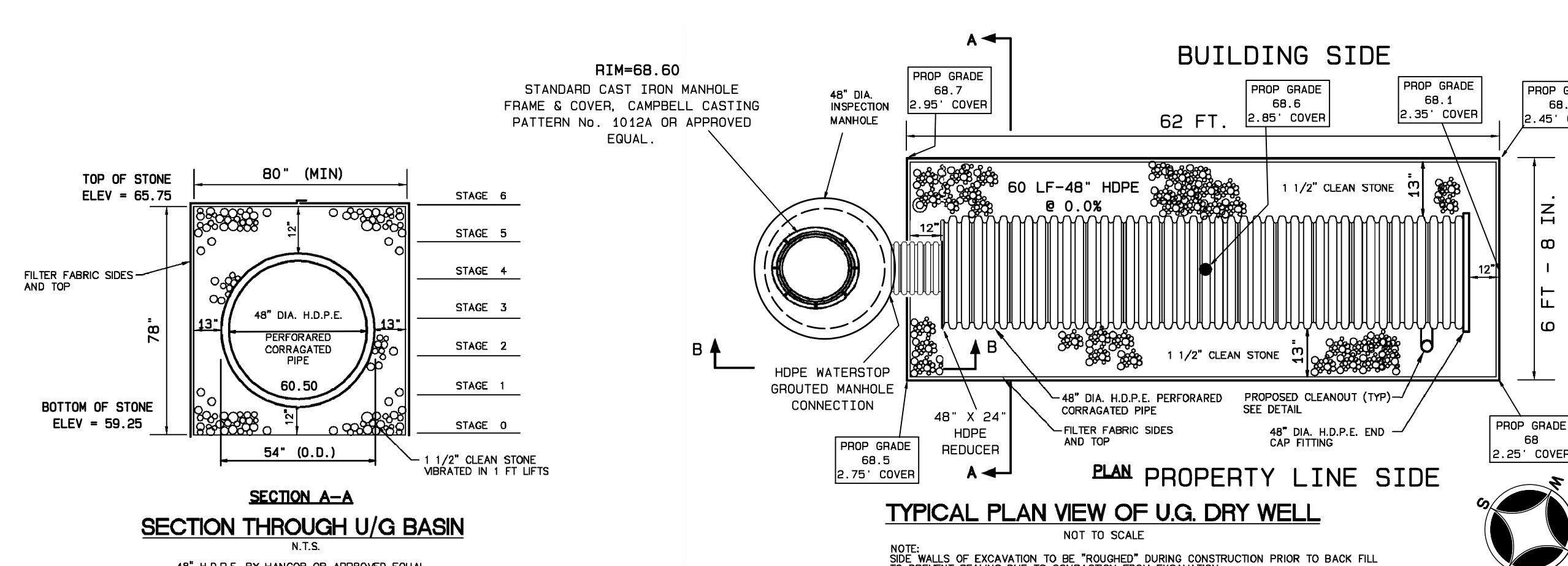
1/18/23



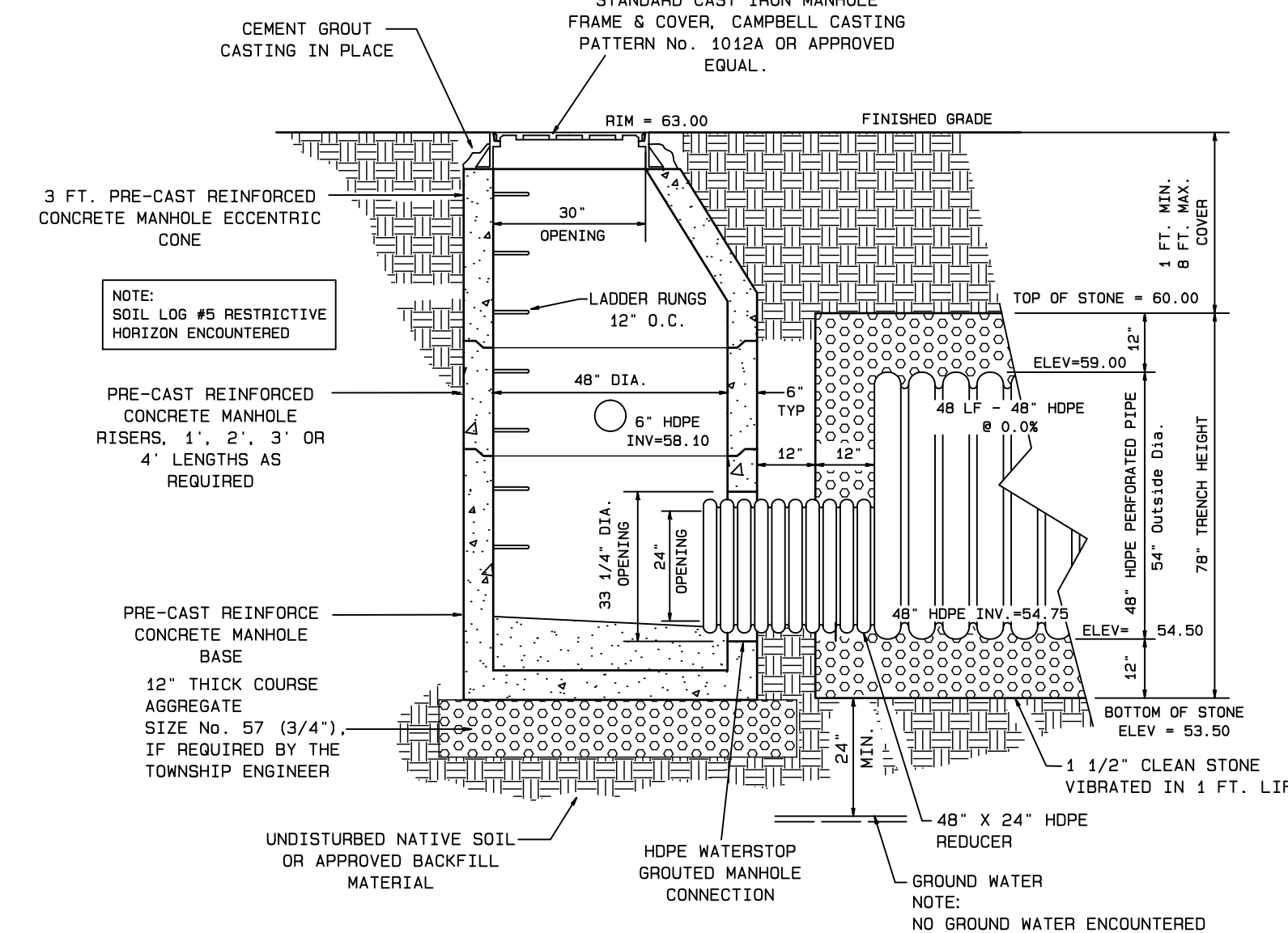
UNDERGROUND INFILTRATION BASIN #2
N.T.S.



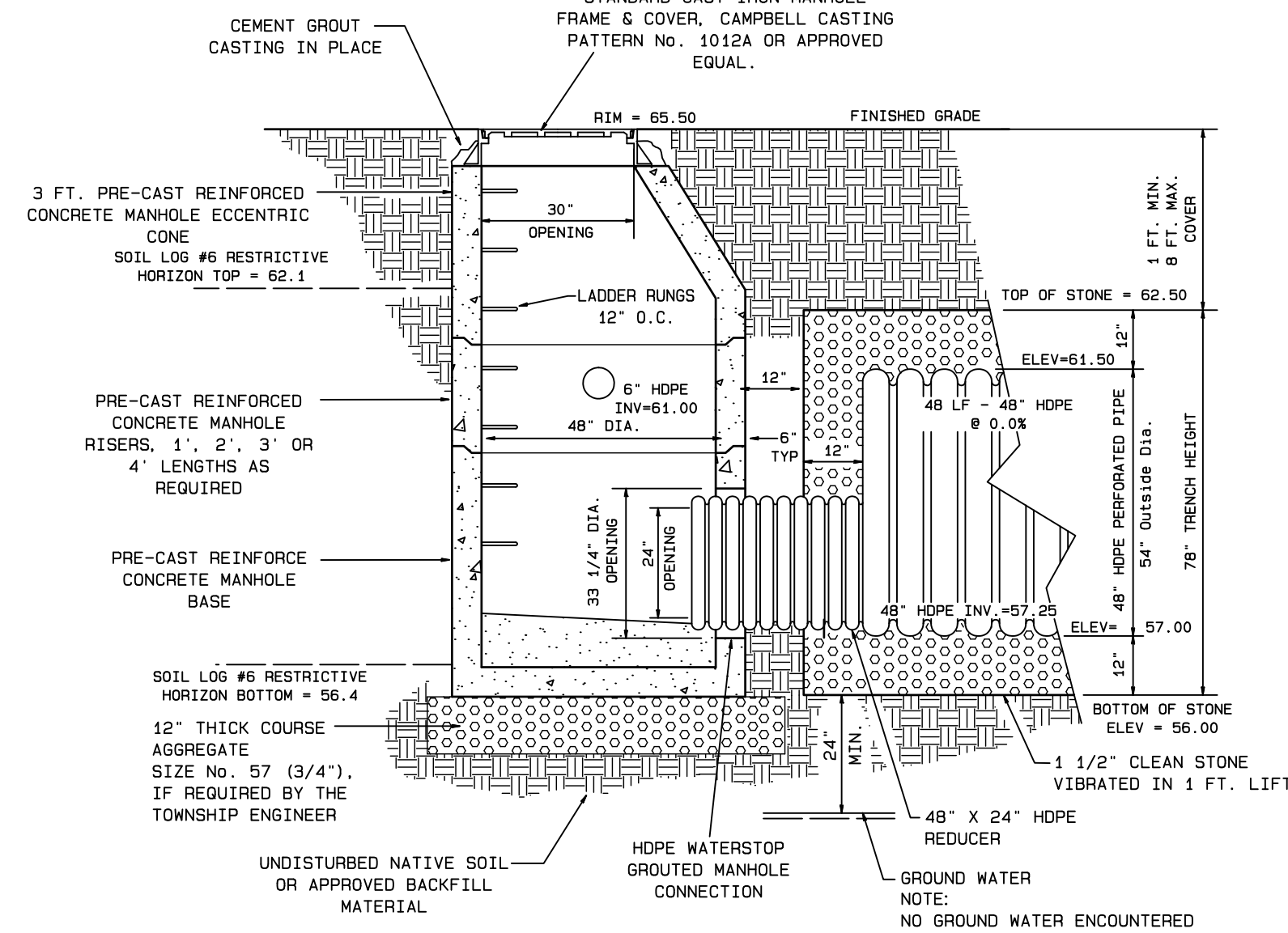
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N.T.S.



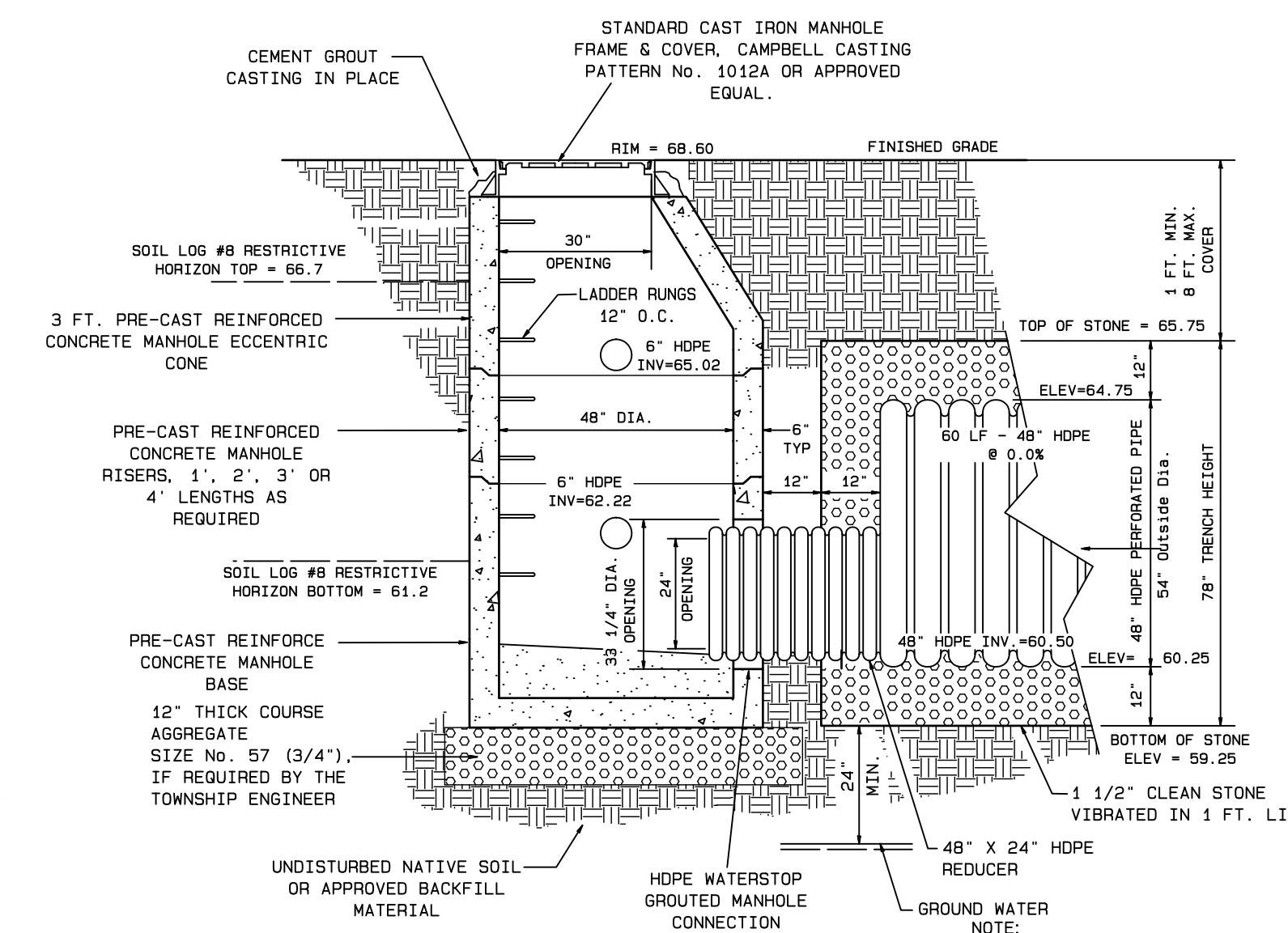
UNDERGROUND INFILTRATION BASIN #4
N.T.S.



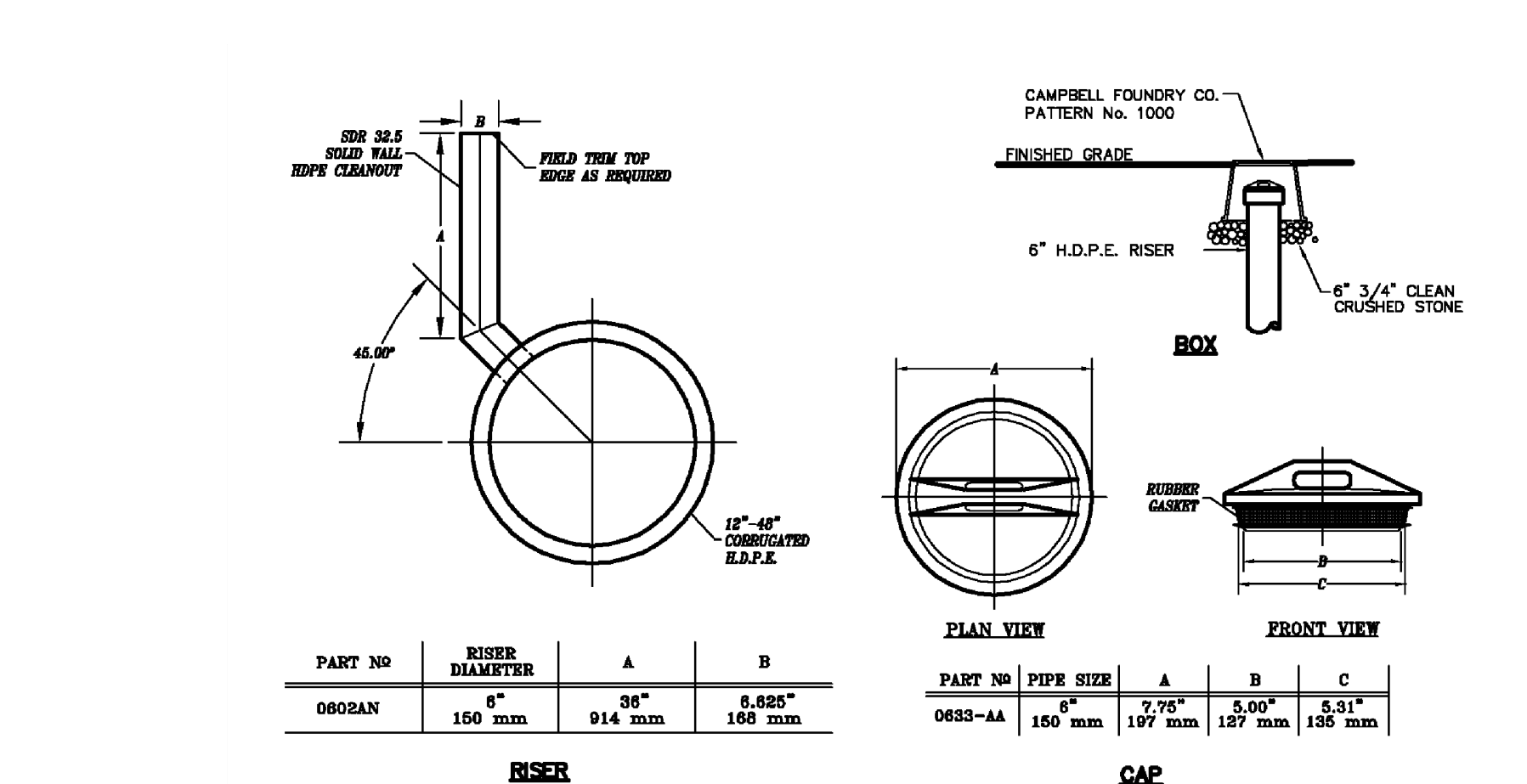
SECTION "B-B" UNDERGROUND INSPECTION MANHOLE CONNECTION DETAIL
N.T.S.



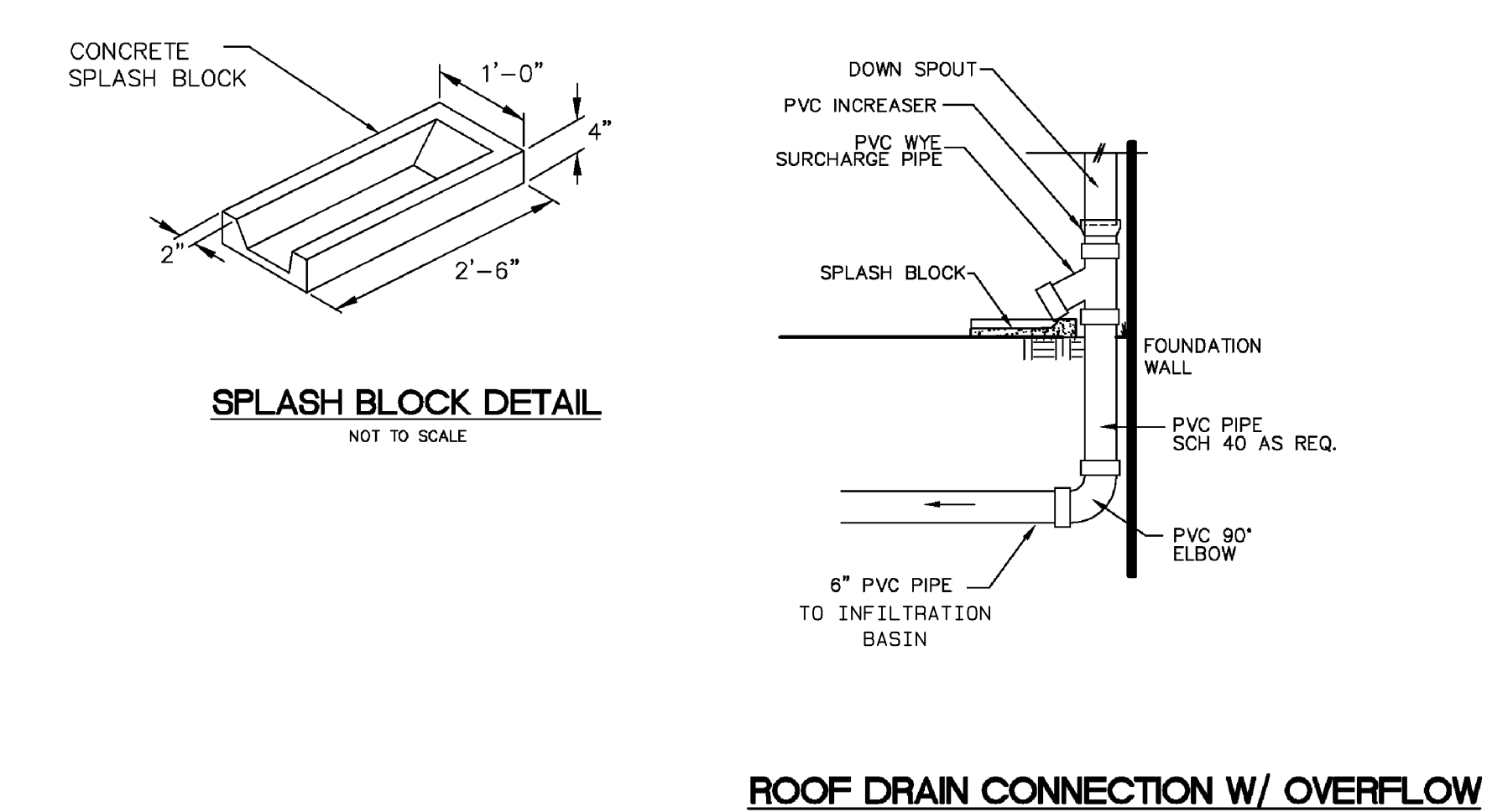
SECTION "B-B" UNDERGROUND INSPECTION MANHOLE CONNECTION DETAIL
N.T.S.



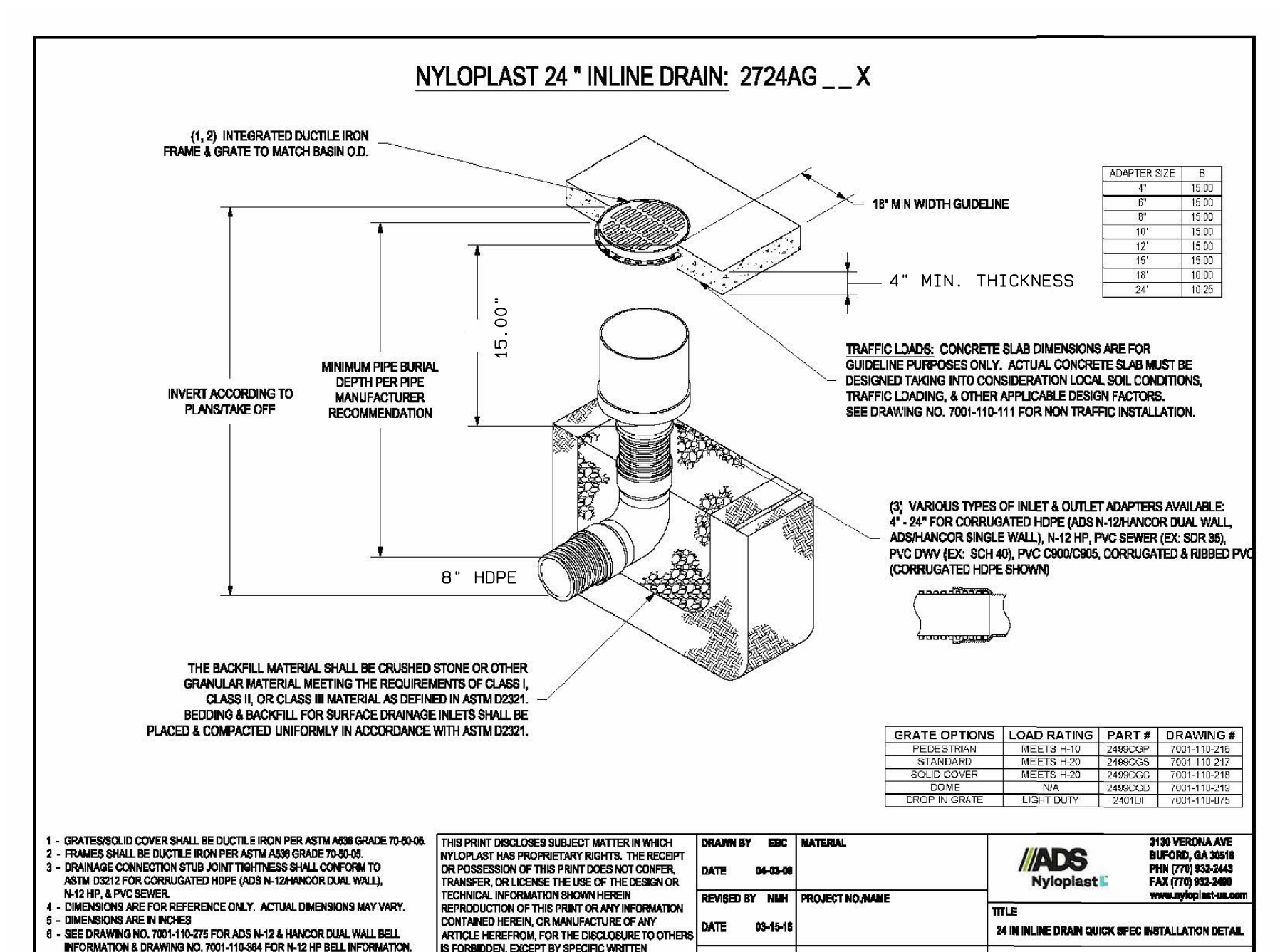
SECTION "B-B" UNDERGROUND INSPECTION MANHOLE CONNECTION DETAIL
N.T.S.



HDPE CLEANOUT DETAIL
N.T.S.



ROOF DRAIN CONNECTION W/ OVERFLOW
N.T.S.



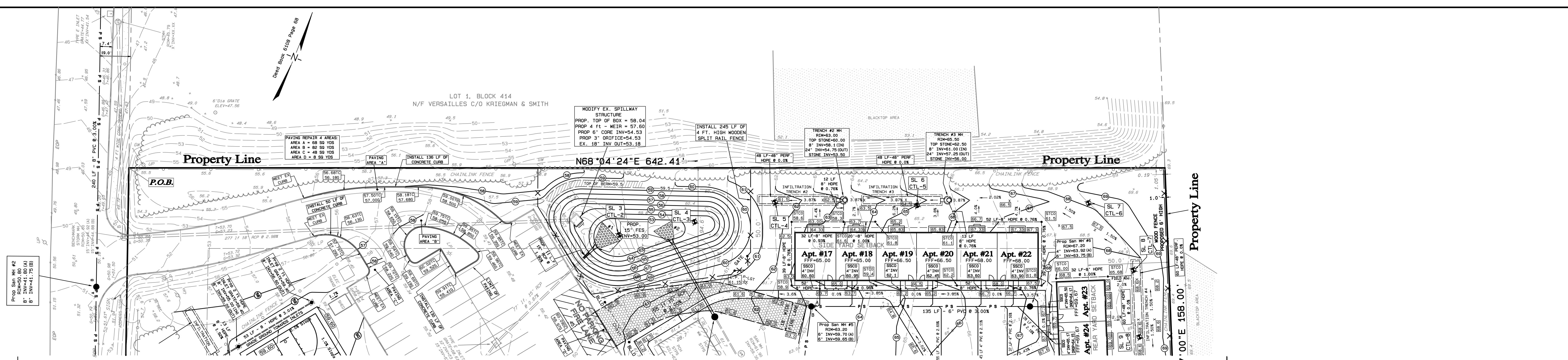
No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004
D.P. STRATTON, L.S. N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462

INFILTRATION BASIN DETAILS
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 8A

CERTIFICATE OF AUTHORIZATION NO.	TAX MAP DATA
24848050000	LOT BLOCK PAGE
	2.01 414 79
	DATE 12/22/22
	INV. 44315
	DRAWN BY: JTH
	SCALE SHOWN
	FB. PG.
	FILE 107-93

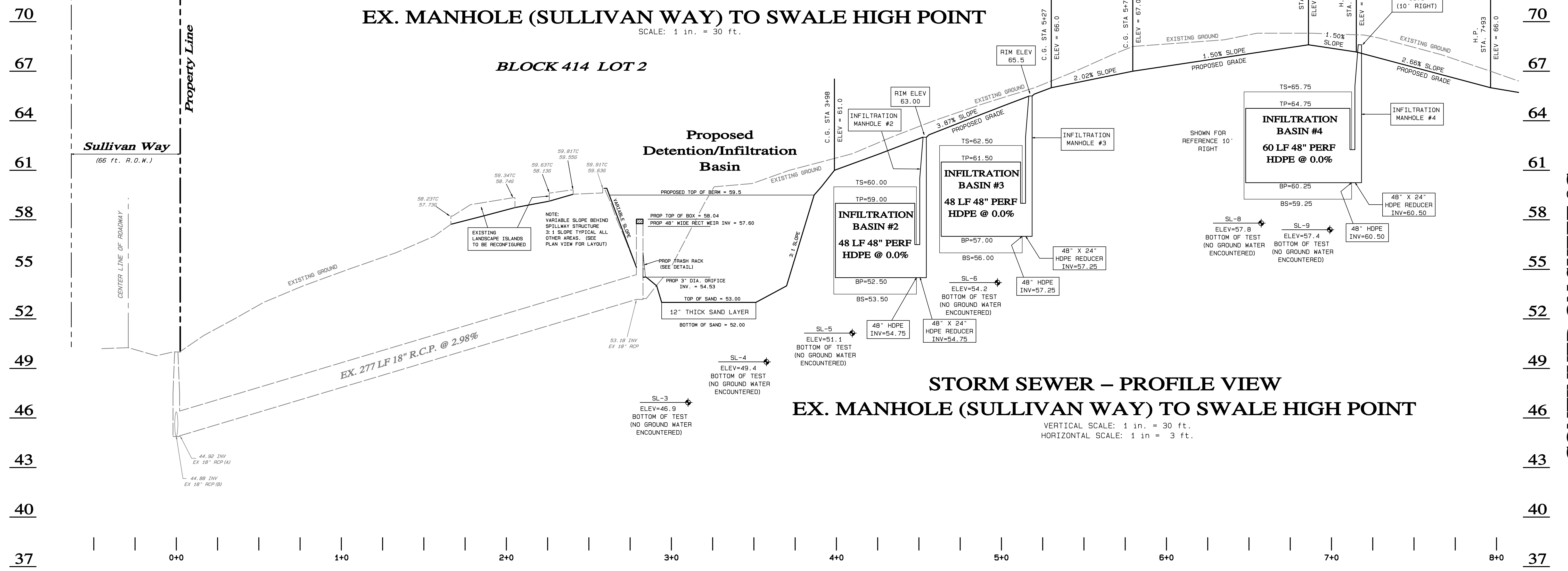


STORM SEWER – PLAN VIEW
EX. MANHOLE (SULLIVAN WAY) TO SWALE HIGH POINT
 SCALE: 1 in. = 30 ft.

BLOCK 414 LOT 2

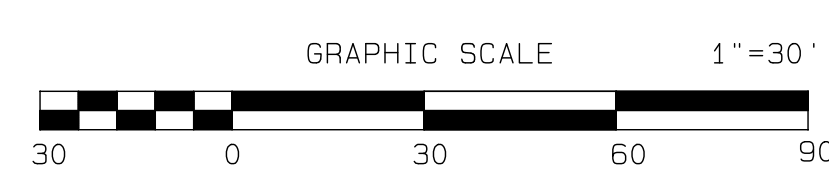
Proposed Detention/Infiltration Basin

STORM SEWER – PROFILE VIEW
EX. MANHOLE (SULLIVAN WAY) TO SWALE HIGH POINT
 VERTICAL SCALE: 1 in. = 30 ft.
 HORIZONTAL SCALE: 1 in. = 3 ft.



CONTINUED ON SHEET 8C

- LEGEND:**
- MH = MANHOLE
 - CLF = CHAIN LINK FENCE
 - WF = WIRE FENCE
 - IR = IRON ROD
 - MON = MONUMENT
 - WV = WATER VALVE
 - GW = GUY WIRE
 - UP = UTILITY POLE
 - WW = WINDOW WELL
 - G- = GAS LINES
 - W- = WATER LINES
 - MONF = MONUMENT FOUND
 - TB = TOP OF BANK
 - BB = BOTTOM OF BANK
 - RCP = REINFORCED CONCRETE PIPE
 - TCB = TOP OF CATCH BASIN
 - DEP = DEPRESSED CURB
 - EOP = EDGE OF PAVING
 - GND = GROUND
 - TC = TOP OF CURB
 - G = GUTTER
 - HYD = HYDRANT
 - ESW = EDGE OF SIDEWALK
 - INV = INVERT
 - EDR = EDGE OF ROAD
 - CL = CENTERLINE
 - FF = FIRST FLOOR
 - EDS = EDGE OF STONE
 - BLD = BUILDING
 - CMP = CORRUGATED METAL PIPE
 - 69.00 = PROPOSED GRADE
 - 52.00 = EXISTING GRADE
 - 69 = PROPOSED CONTOUR LINE
 - 1.5X = GRADE SLOPE AND DIRECTION



SITE DATA:
 EWING TOWNSHIP TAX MAP
 BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
 4.354 ACRES OR
 189,649 S.F.

No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

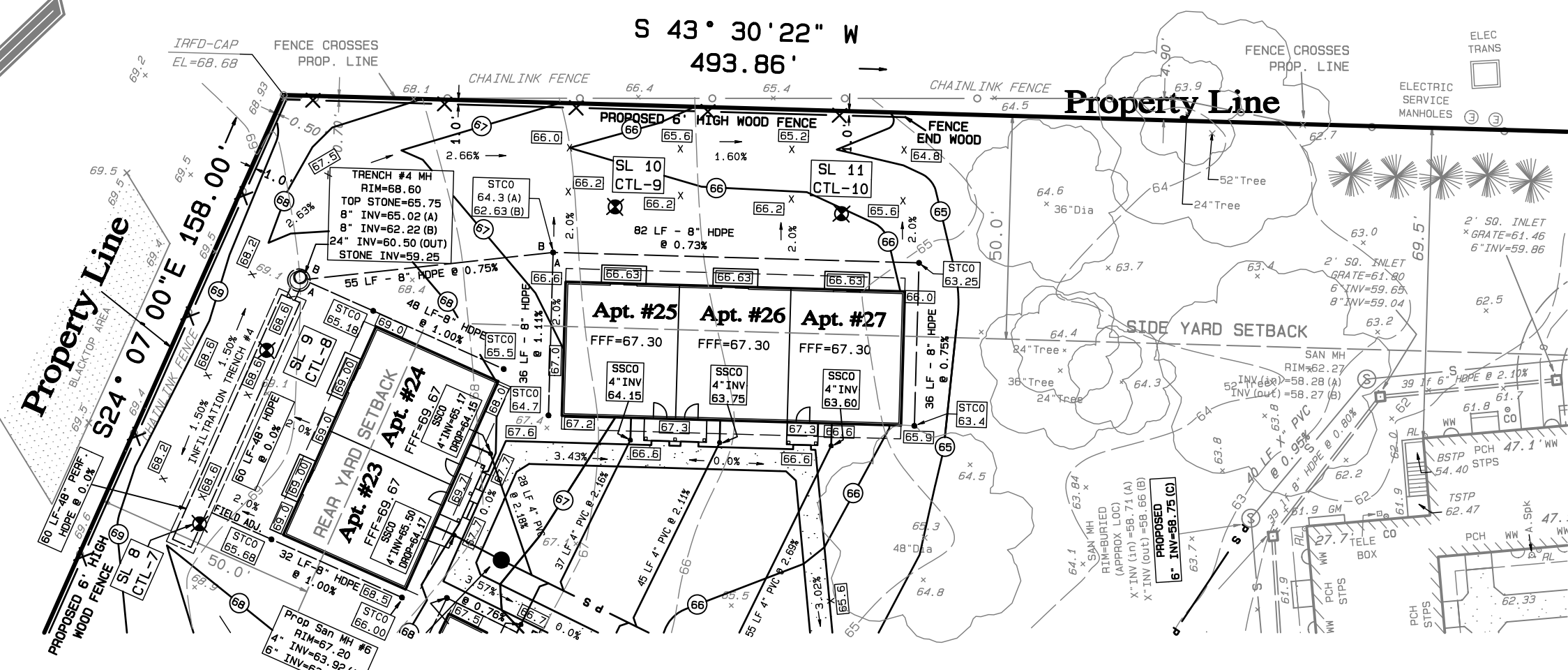
TRENTON ENGINEERING CO., INC.
 PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
 ESTABLISHED 1907
 2193 SPRUCE STREET TRENTON, N.J. 08638
 TEL. NO. 609-982-0616
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 D.F. STRATTON, L.S., N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
 N.J. PROFESSIONAL ENGINEER AND
 PROFESSIONAL LAND SURVEYOR NO. 19462
 DATE 7/19/23

STORM SEWER PLAN AND PROFILE
 of
LOT 2.01, BLOCK 414
 for
HOMES BY TLC, INC
 in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

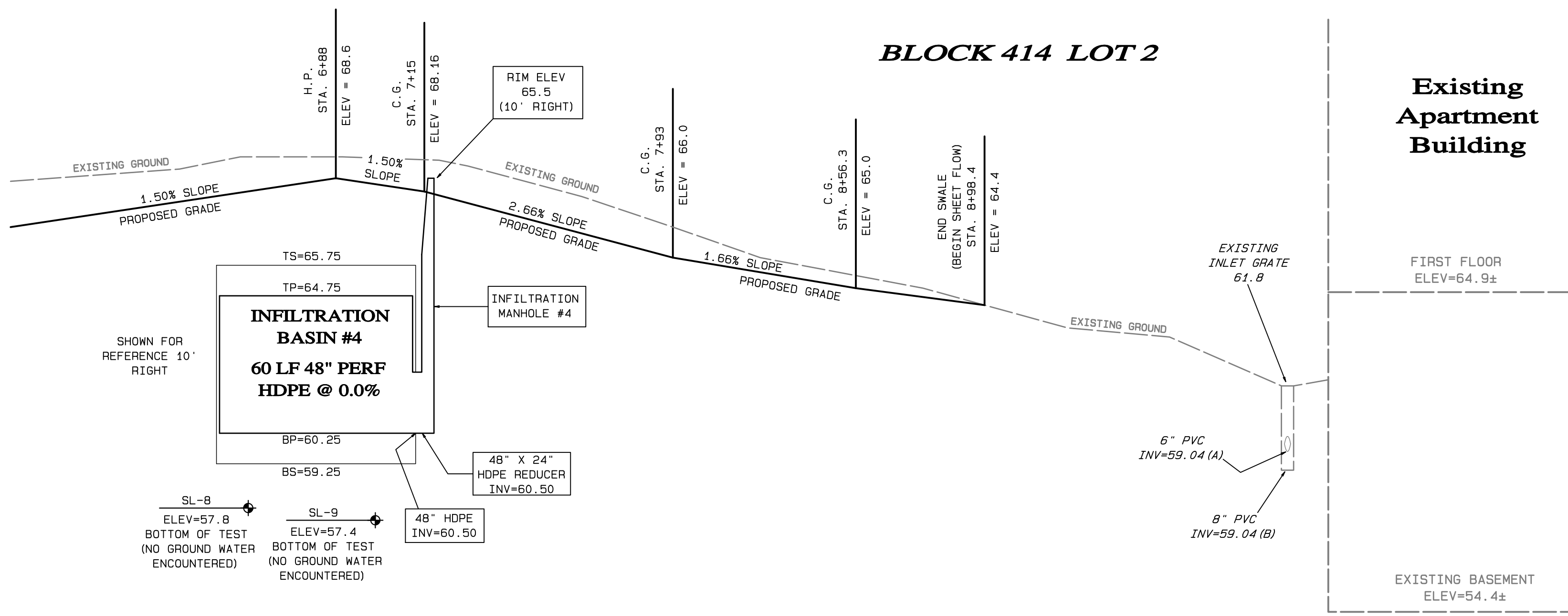
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CERTIFICATE OF AUTHORIZATION NO.		TAX MAP DATA	
LOT	BLOCK	PAGE	
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DATE 12/22/22		INV. 44315	
DRAWN BY: JTH		SCALE SHOWN	
FB.	PG.	FILE 107-93	

LOT 2, BLOCK 414
N/P STATE OF N.J.
PSYCHIATRIC HOSPITAL

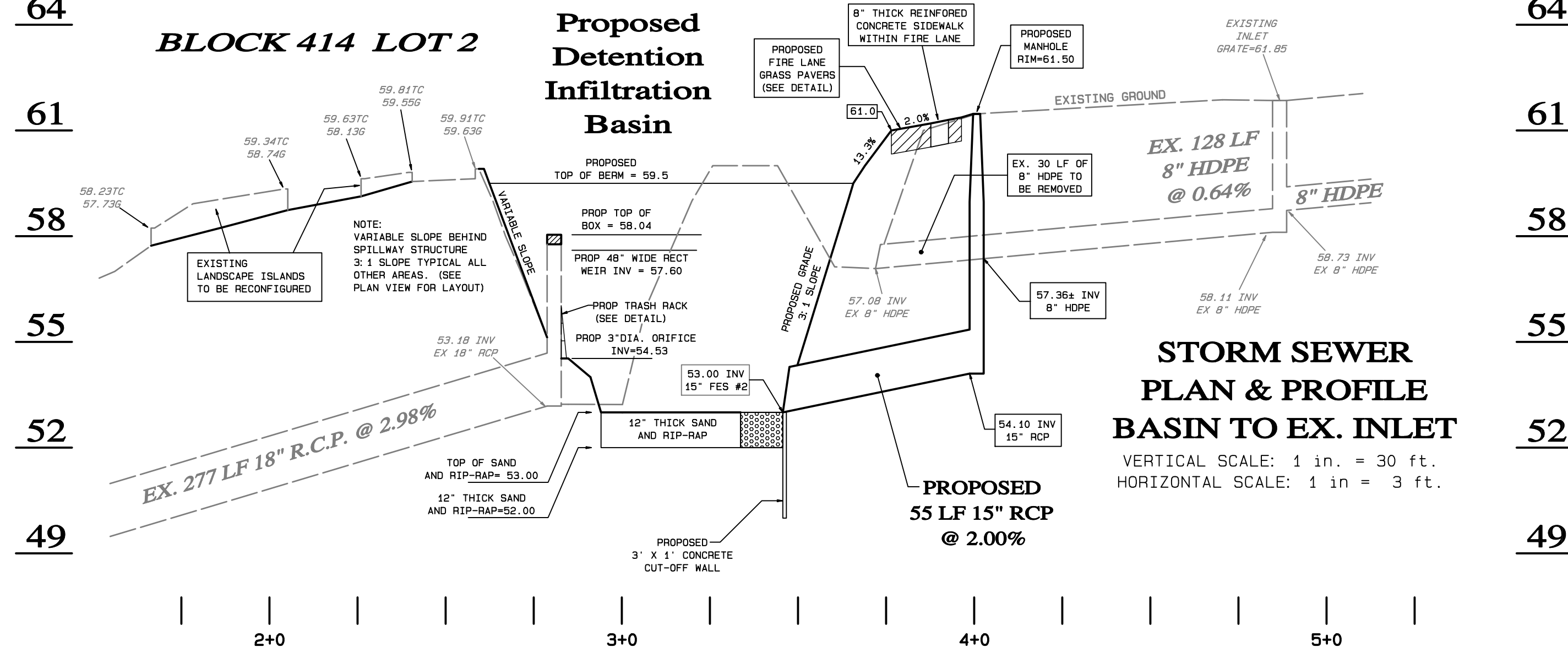
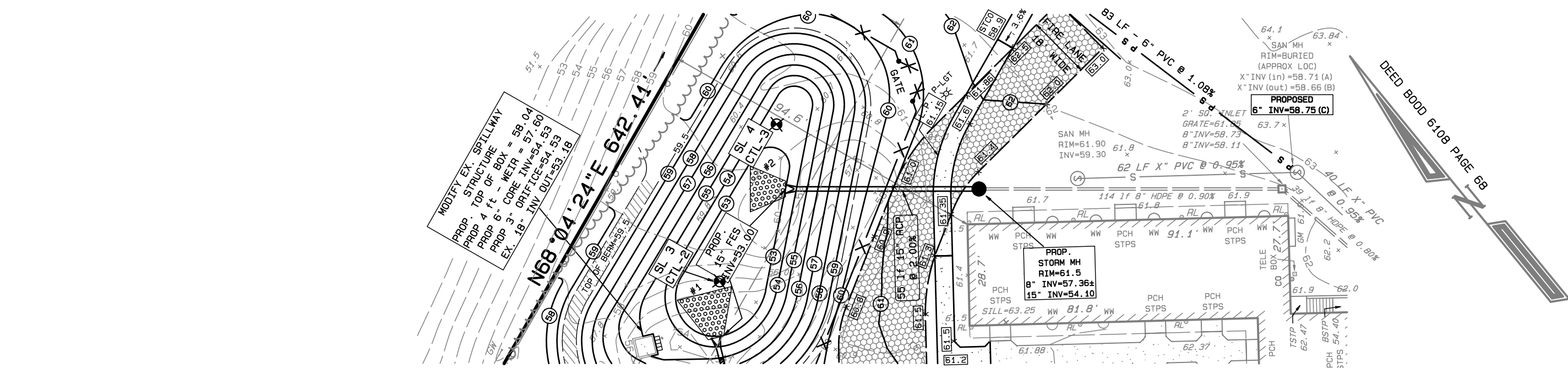
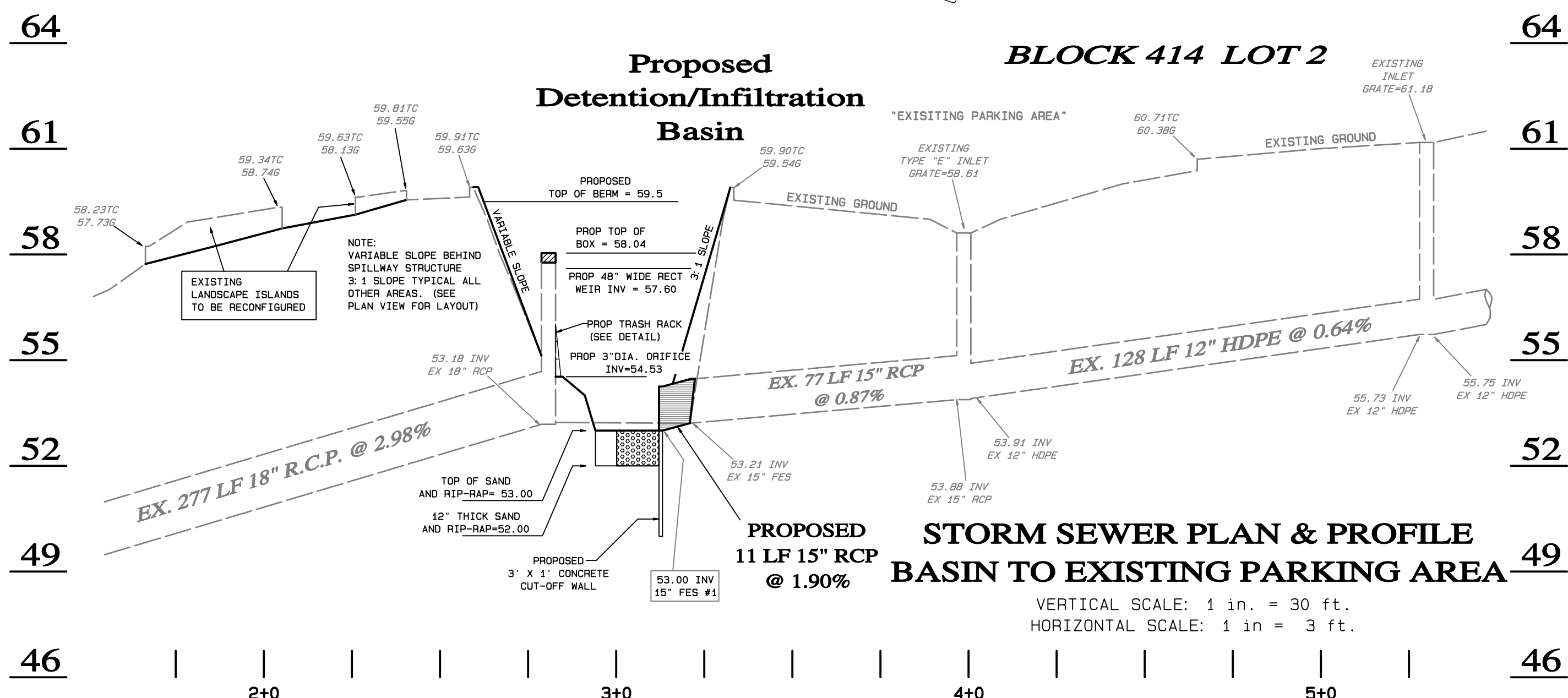
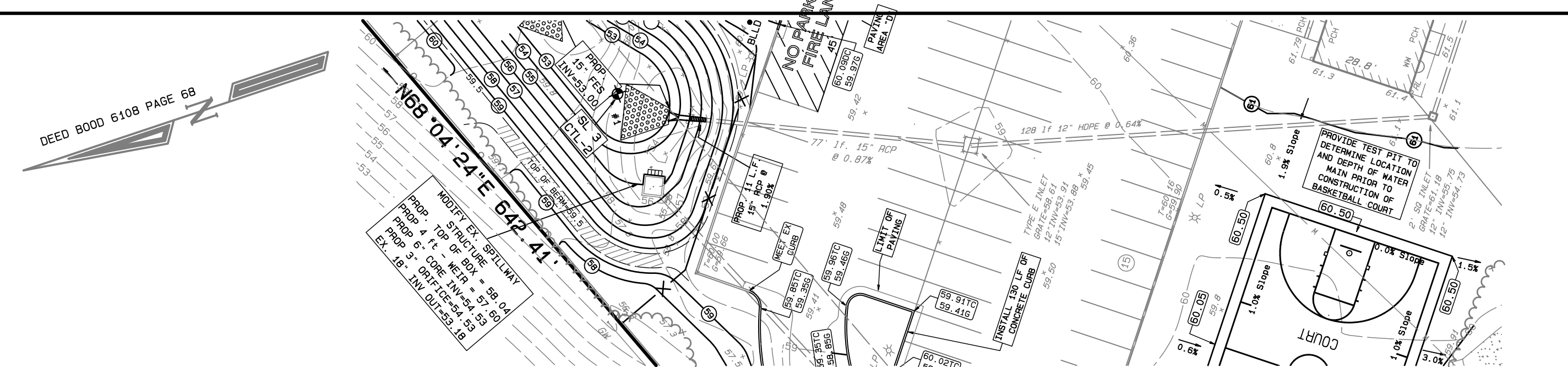
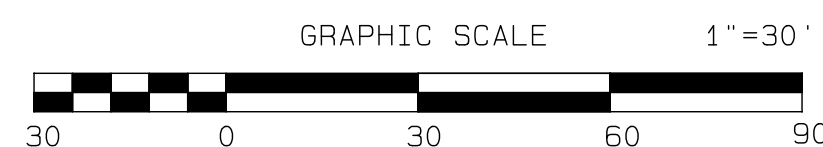


STORM SEWER – PLAN VIEW
SWALE HIGH POINT TO EXISTING INLET
SCALE: 1 in. = 30 ft.



STORM SEWER – PROFILE VIEW
SWALE HIGH POINT TO EXISTING INLET
VERTICAL SCALE: 1 in. = 30 ft.
HORIZONTAL SCALE: 1 in. = 3 ft.

- LEGEND:**
- MH = MANHOLE
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 - WF = WIRE FENCE
 - IR = IRON ROD
 - MON = MONUMENT
 - NV = WATER VALVE
 - GW = GUY WIRE
 - UP = UTILITY POLE
 - WM = WINDOW WELL
 - G-- = GAS LINES
 - W-- = WATER LINES
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 - BB = BOTTOM OF BANK
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 - TCB = TOP OF CATCH BASIN
 - DEP = DEPRESSED CURB
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 - TC = TOP OF CURB
 - G = GUTTER
 - HYD = HYDRANT
 - ESW = EDGE OF SIDEWALK
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 - EDR = EDGE OF ROAD
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 - CMP = CORRUGATED METAL PIPE
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 - 62.00 = EXISTING GRADE
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 - 1.5X -- = GRADE SLOPE AND DIRECTION



SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.

No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004

D.F. STRATTON, L.S., N.J.-27583, P.P.N.J.-5091

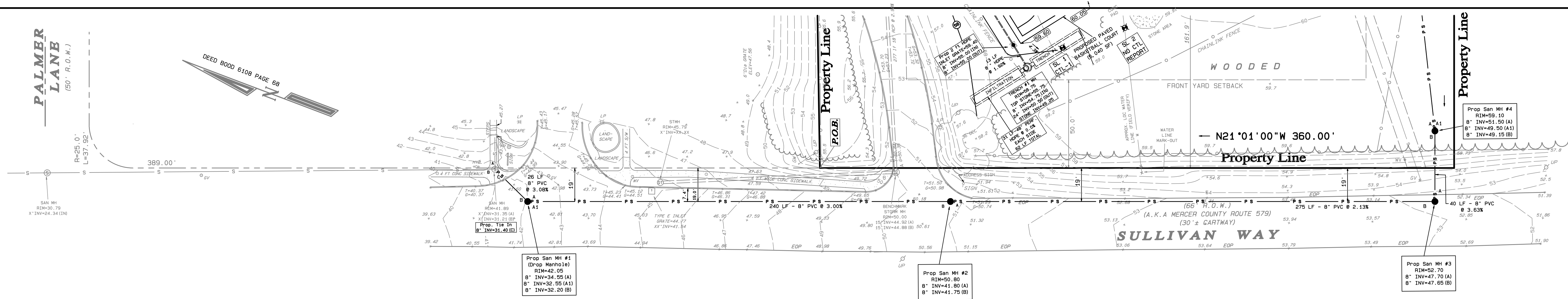
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR NO. 19462

DATE: 7/19/23

STORM SEWER PLAN AND PROFILE
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

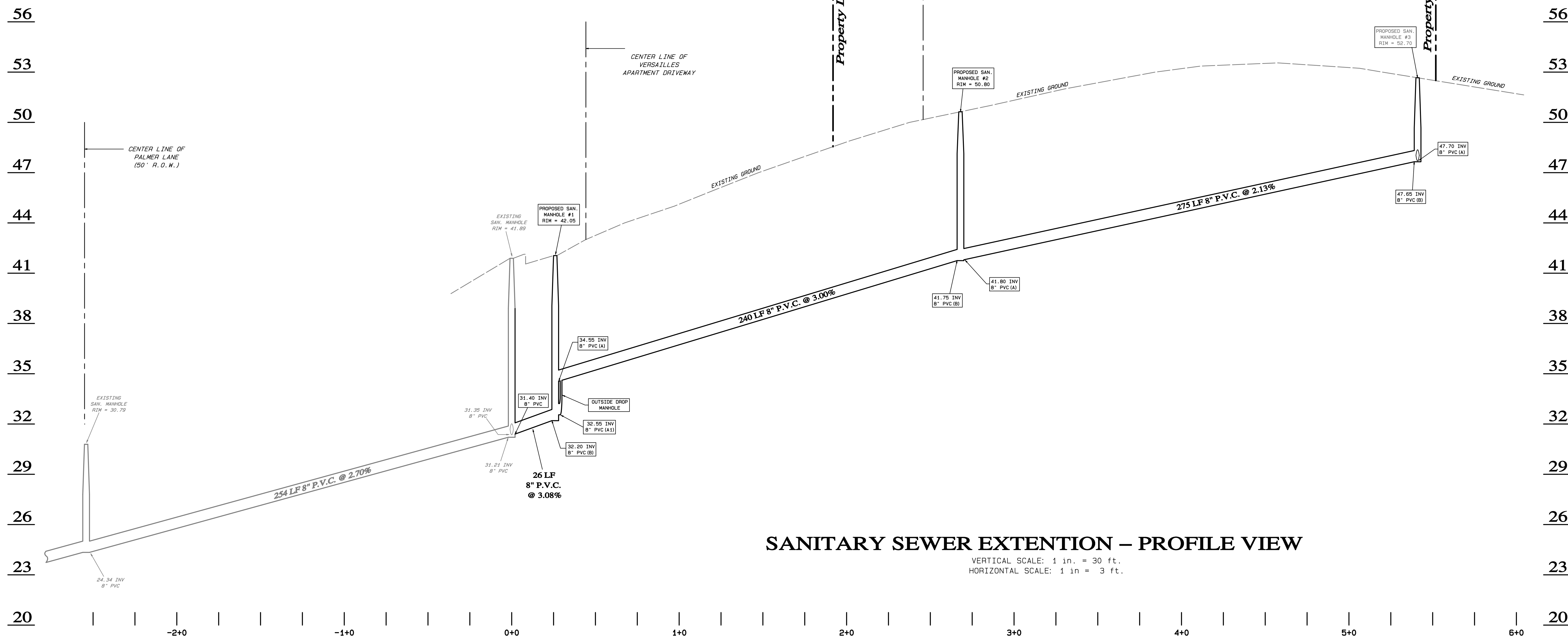
SHEET 8C

CERTIFICATE OF AUTHORIZATION NO.	
LOT	PAGE
2.01	414 79
DATE 12/22/22	
INV. 44315	
DRAWN BY: JTH	
SCALE SHOWN	
FB.	PG.
FILE 107-93	



SANITARY SEWER EXTENTION - PLAN VIEW (SULLIVAN WAY)

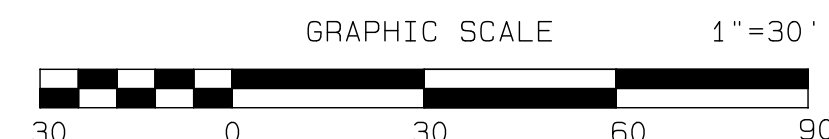
SCALE: 1 in. = 30 ft.



SANITARY SEWER EXTENTION - PROFILE VIEW

VERTICAL SCALE: 1 in. = 30 ft.
HORIZONTAL SCALE: 1 in. = 3 ft.

- LEGEND:**
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SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.

No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004

D.F. STRATTON, L.S., N.J. #27923 P.P.N.J. #5021

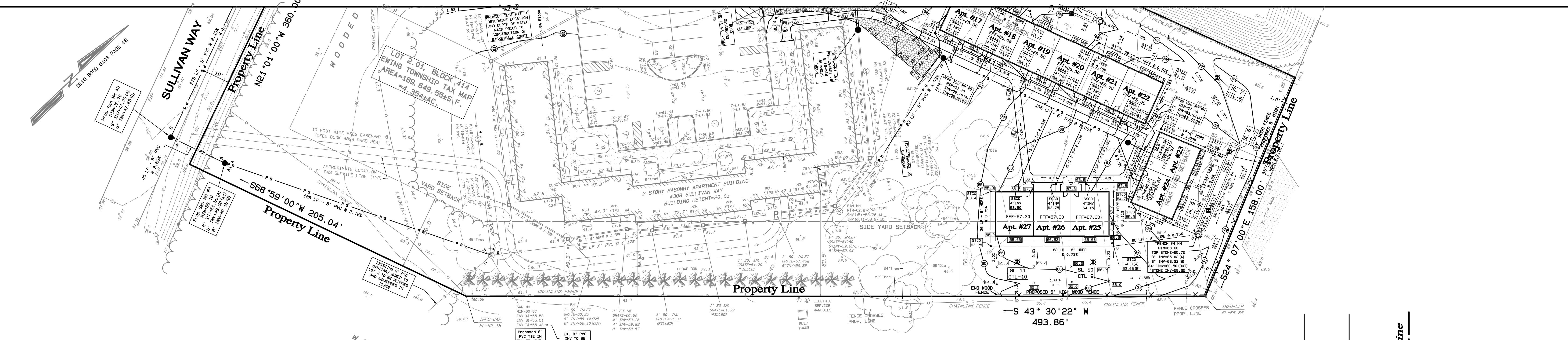
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR NO. 19462

DATE: 7/19/23

SANITARY SEWER EXTENTION
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
**TOWNSHIP OF EWING
MERCER CO., NEW JERSEY**

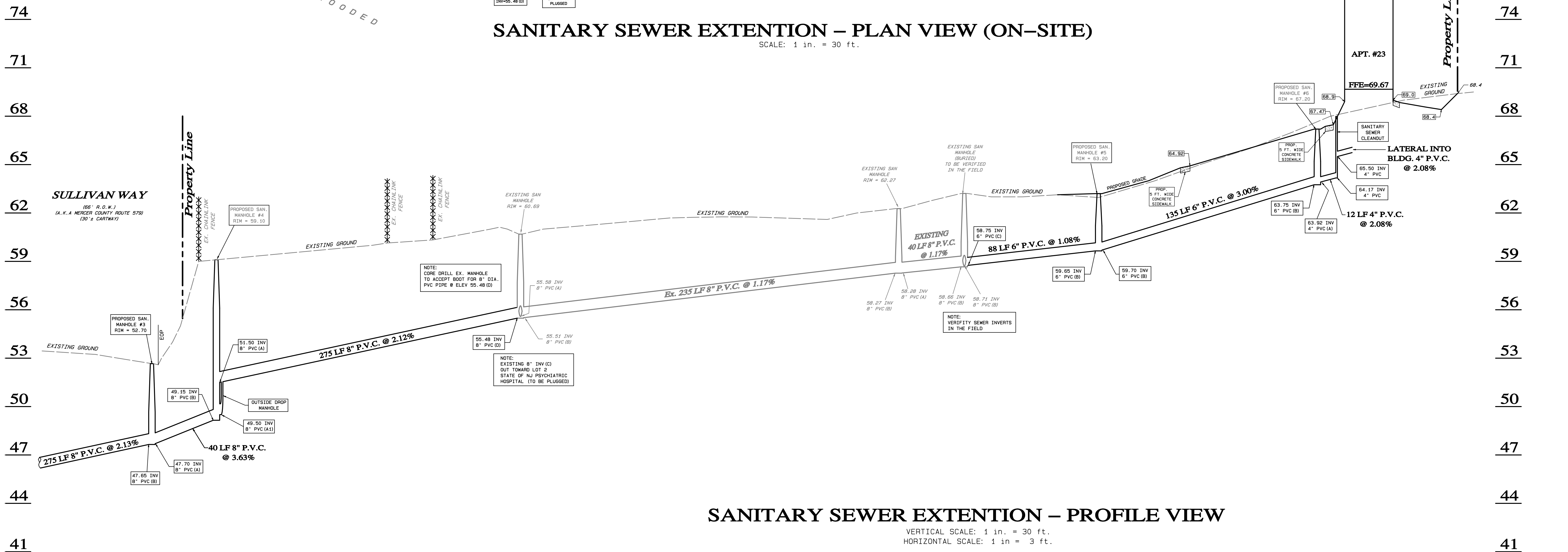
SHEET 9

CERTIFICATE OF AUTHORIZATION NO. 24842052000		
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LOT	BLOCK	PAGE
2.01	414	79
DATE 12/22/22		
INV. 44315		
DRAWN BY: JTH		
SCALE 1"=30'		
FB.	PG.	
FILE 107-93		



SANITARY SEWER EXTENTION – PLAN VIEW (ON-SITE)

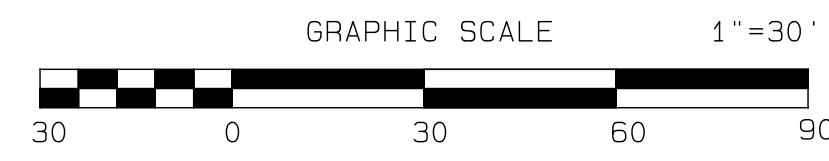
SCALE: 1 in. = 30 ft.



SANITARY SEWER EXTENTION – PROFILE VIEW

VERTICAL SCALE: 1 in. = 30 ft.
HORIZONTAL SCALE: 1 in. = 3 ft.

- LEGEND:**
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SITE DATA:
EWING TOWNSHIP TAX MAP
BLOCK 414 LOT 2.01 PAGE 79

LOT AREA:
4.354 ACRES OR
189,649 S.F.

No.	Date	Description
1	7/19/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

REVISIONS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
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D.F. STRATTON, L.S., N.J. 27523 P.P.N.J.-5021

JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR NO. 19462

DATE: 7/19/23

SANITARY SEWER EXTENTION
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
**TOWNSHIP OF EWING
MERCER CO., NEW JERSEY**

SHEET 10

CERTIFICATE OF AUTHORIZATION NO. 24842050200

TAX MAP DATA		
LOT	BLOCK	PAGE
2.01	414	79

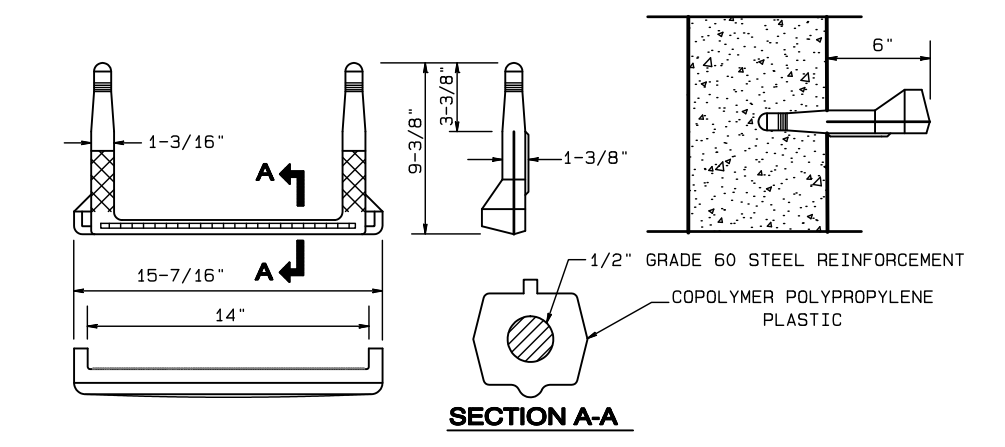
DATE 12/22/22
INV. 44315
DRAWN BY: JTH
SCALE 1"=30"
FB. PG.
FILE 107-93

SANITARY SEWER GENERAL NOTES:

- ANY VARIATIONS FROM THESE DETAILS MUST BE APPROVED IN WRITING BY TOWNSHIP ENGINEER PRIOR TO START OF CONSTRUCTION.
- BEFORE ANY NEW SEWER INSTALLATION IS STARTED A PLUG MUST BE INSTALLED IN THE LAST ACTIVE MANHOLE ON THE OUT-FLOW PIPE, OR NEW LINE IF MANHOLE IS ACTIVE, AND MUST REMAIN THERE UNTIL THE LINE HAS BEEN APPROVED.
- WYES MUST BE INSTALLED FOR ALL BUILDING CONNECTIONS. HOWEVER, IF BUILDING CONNECTIONS ARE MADE TO EXISTING SANITARY SEWER LINE, CAST IRON SADDLES MUST BE USED.
- MINIMUM DEPTH AT CURB FOR LATERALS = 5'-0"
- DESIRABLE DEPTH AT CURB FOR LATERALS = 6'-6"
- INFILTRATION: MAXIMUM PERMITTED: 100 GALLONS PER INCH OF DIAMETER, PER MILE OF PIPE PER 24 HOURS. OBVIOUS LEAKS WILL NOT BE PERMITTED REGARDLESS OF SATISFACTION OF ABOVE REQUIREMENTS.
- MAXIMUM DISTANCE BETWEEN MANHOLES: 400 FEET, UNLESS APPROVED BY THE TOWNSHIP ENGINEER.
- ALL MATERIAL AND CONSTRUCTION, TO BE IN ACCORDANCE WITH LATEST TOWNSHIP SPECIFICATIONS.
- ALL LATERALS MUST BE RUN TO THE PROPERTY LINE.
- IN DEVELOPMENTS, CENTERLINES OF STREETS OR CURBLINE MUST BE STAKED TO INSURE LATERALS ARE RUN TO PROPER LOCATION.
- AS BUILTS MUST BE SUBMITTED
- METERING AND GRAB SAMPLE MANHOLES MUST BE CONSTRUCTED AS REQUIRED BY THE SEWER AND SEWAGE DISPOSAL ORDINANCE.
- ALL NEW LINES TO BE T.V. TESTED, AS PER TOWNSHIP REQUIREMENT FOR VIDEO INSPECTION (PART 2.01)
- WHERE A PIPE MUST BE INSTALLED INTO A MANHOLE, THE WALL OF THE MANHOLE SHALL BE CURED WITH AN ACCEPTABLE CURING DEVICE. THE PIPE SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE SEAL, SUCH AS KOR-N-SEAL OR APPROVED EQUIVALENT.
- WHERE THE EXISTING LATERAL IS IN THE DRIVEWAY, THE CLEANOUT TO BE USED SHALL BE "PANELLA CLEANOUT WITH COUNTERSUNK HEAD" MADE BY THE U.S. PIPE AND FOUNDRY AND CAPABLE OF WITHSTANDING HEIGHTS AND MOVEMENTS OF VEHICLES. THIS DOES NOT APPLY TO NEW HOMES.

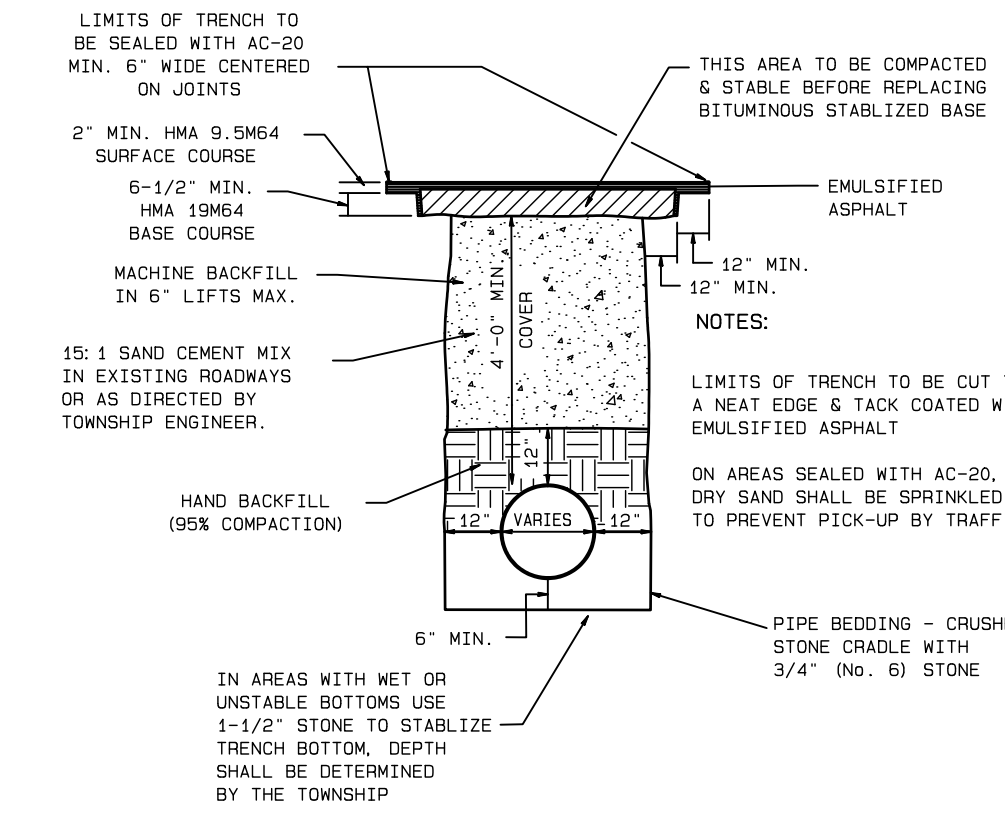
MATERIALS FOR WATER, STORM AND SANITARY SEWER LINES

- NOTE: (PIPE MATERIAL)
- ALL REINFORCED CONCRETE (R.C.P.) STORM DRAIN PIPE SHALL BE CLASS III, WALL "B".
 - ALL 8" POLYVINYL CHLORIDE (P.V.C.) SANITARY SEWER MAIN PIPES SHALL BE SDR-35.
 - ALL POLYVINYL CHLORIDE (P.V.C.) SANITARY SEWER LATERALS SHALL BE SDR-26.



COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNG FOR PRECAST DRAINAGE MANHOLES AND INLETS ONLY

NOT TO SCALE

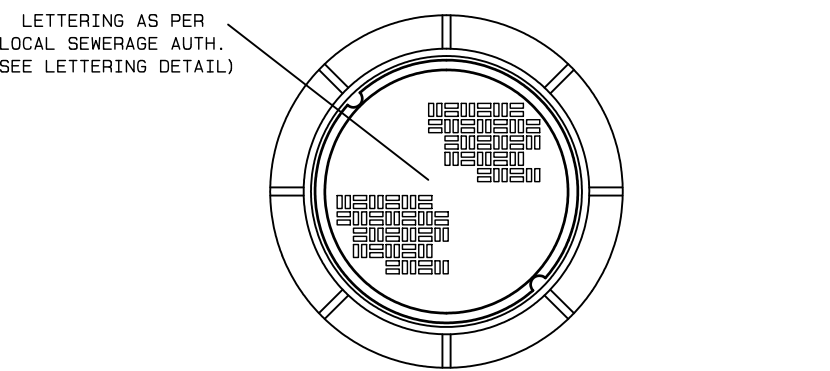


TYPICAL SANITARY SEWER TRENCH REPAIR DETAIL

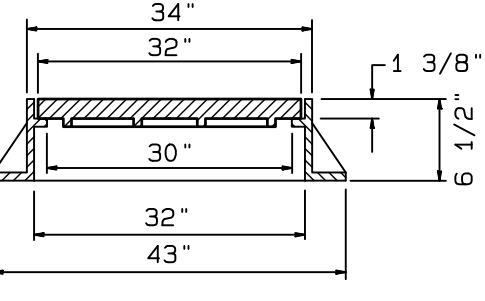
NOT TO SCALE

NOTE:
SANITARY SEWER MAIN SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE DEPARTMENT.

WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSINGS. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY ALSO REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS CROSSING OVER SEWER LINE.



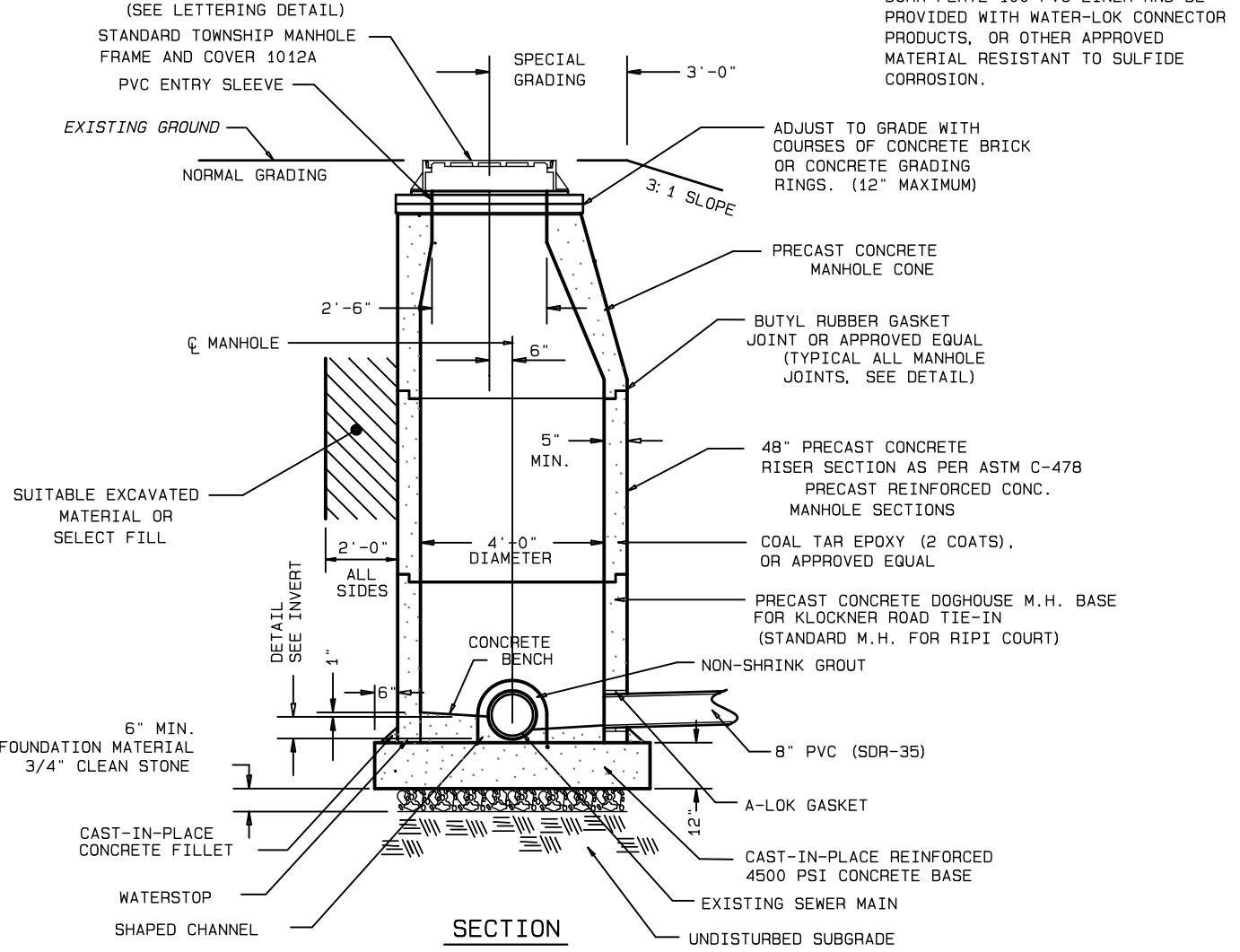
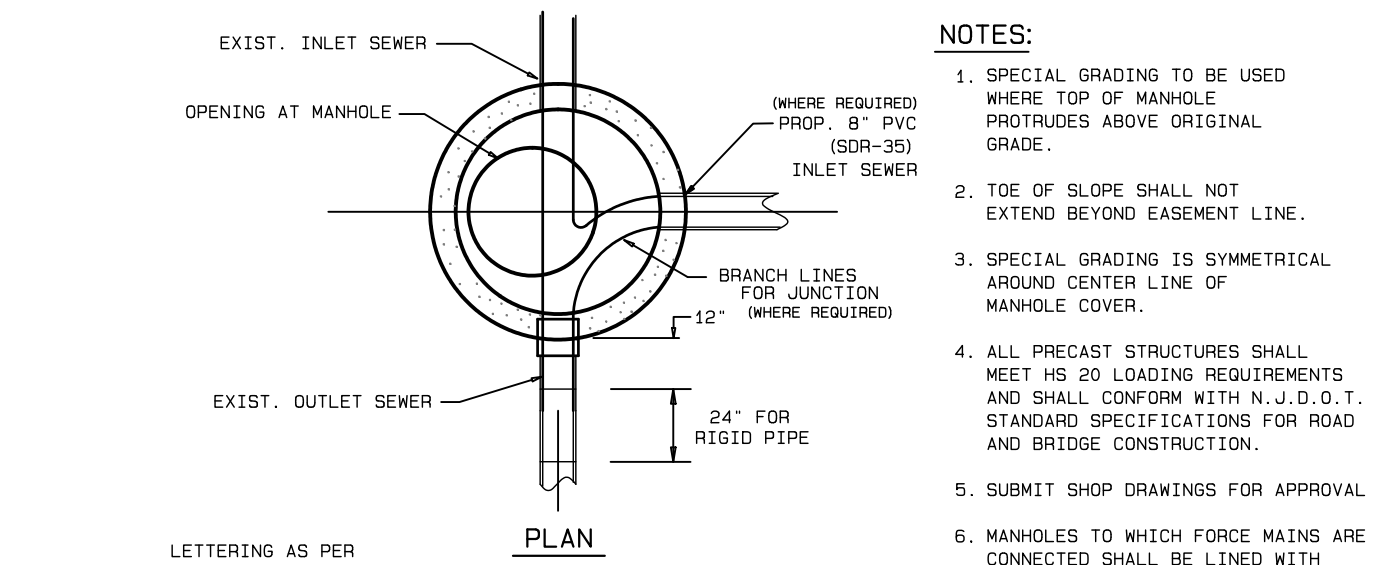
ROUND FLANGE



HEAVY DUTY MANHOLE FRAME AND COVER DETAIL

NOT TO SCALE

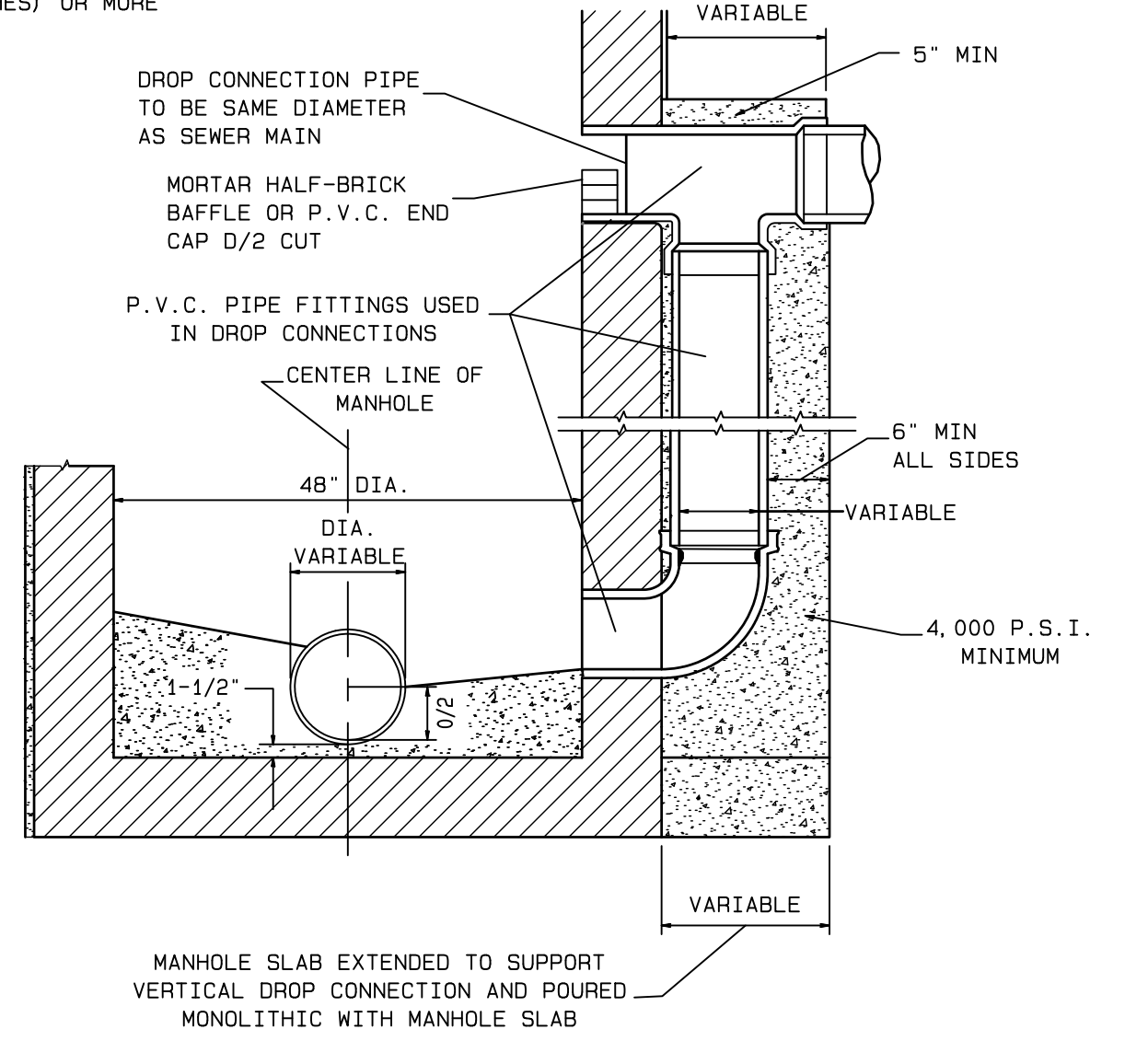
- NOTES:**
- SPECIAL GRADING TO BE USED WHERE TOP OF MANHOLE PROTRUDES ABOVE ORIGINAL GRADE.
 - TOP OF SLOPE SHALL NOT EXTEND BEYOND EASEMENT LINE.
 - SPECIAL GRADING IS SYMMETRICAL AROUND CENTER LINE OF MANHOLE COVER.
 - ALL PRECAST STRUCTURES SHALL MEET HS 20 LOADING REQUIREMENTS AND SHALL CONFORM WITH N.I.D.O.1. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - SUBMIT SHOP DRAWINGS FOR APPROVAL.
 - MANHOLES TO WHICH FORCE MAINS ARE CONNECTED SHALL BE LINED WITH DURA-PLATE 100 PVC LINER AND BE PROVIDED WITH WATER-LOK CONNECTOR PRODUCTS, OR OTHER APPROVED MATERIAL RESISTANT TO SULFIDE CORROSION.



PRECAST CONCRETE SANITARY MANHOLE

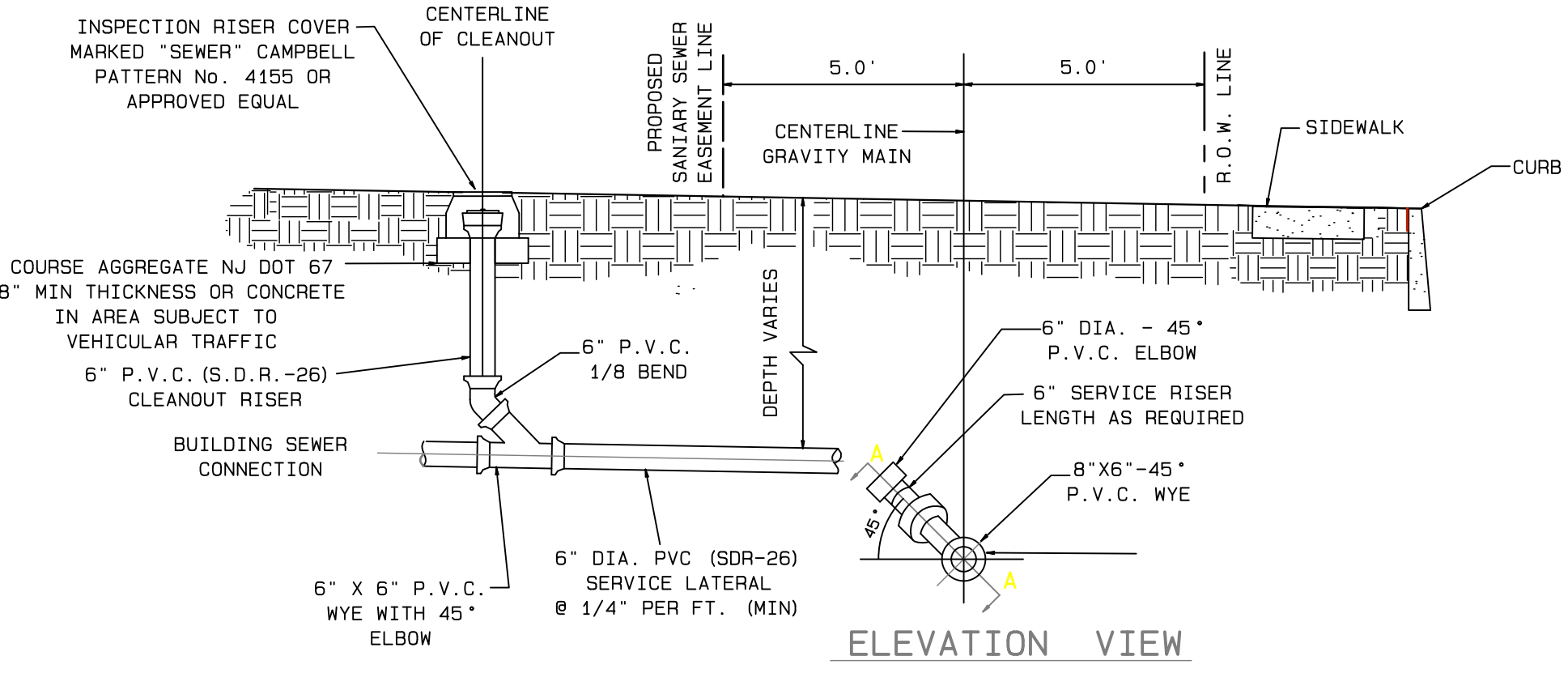
NOT TO SCALE

NOTE:
DROP MANHOLE REQUIRED WHEN DIFFERENCE IN INVERTS BETWEEN INCOMING PIPE AND OUT GOING PIPE IS 18" (INCHES) OR MORE

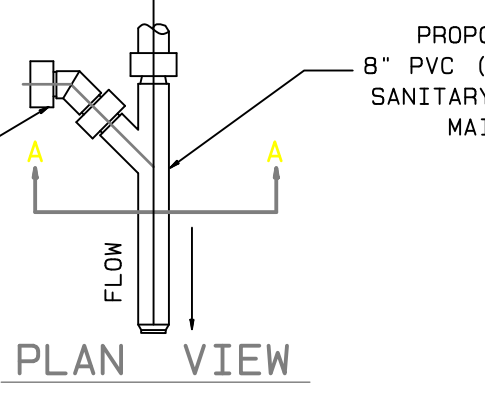


SANITARY DROP MANHOLE

NOT TO SCALE



ELEVATION VIEW



PLAN VIEW

- NOTES:**
- ALL SANITARY SEWER MAINS SHALL BE 8" PVC SDR-35 CLASS 12454B
 - ALL SANITARY SEWER LATERALS SHALL BE 6" PVC SDR-26 CONFORMING TO ASTM-3034
 - NEW CLEANOUTS SHALL NOT BE LOCATED IN DRIVEWAY

LATERAL AND CLEANOUT INSTALLATION DETAIL

N.T.S.

No.	Date	Description
1	7/18/23	AS PER TOWNSHIP & FIRE MARSHALL COMMENTS

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-982-0616
FAX. NO. 609-982-6004
D.F. STRATTON, L.S. N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR No. 19462
Joseph Mester
DATE 7/18/23

SANITARY SEWER DETAILS
of
LOT 2.01, BLOCK 414
for
HOMES BY TLC, INC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 11
CERTIFICATE OF AUTHORIZATION NO. 24842052000
TAX MAP DATA
LOT BLOCK PAGE
2.01 414 79
DATE 12/22/22
INV. 44315
DRAWN BY: JTH
SCALE SHOWN
FB. PG.
FILE 107-93