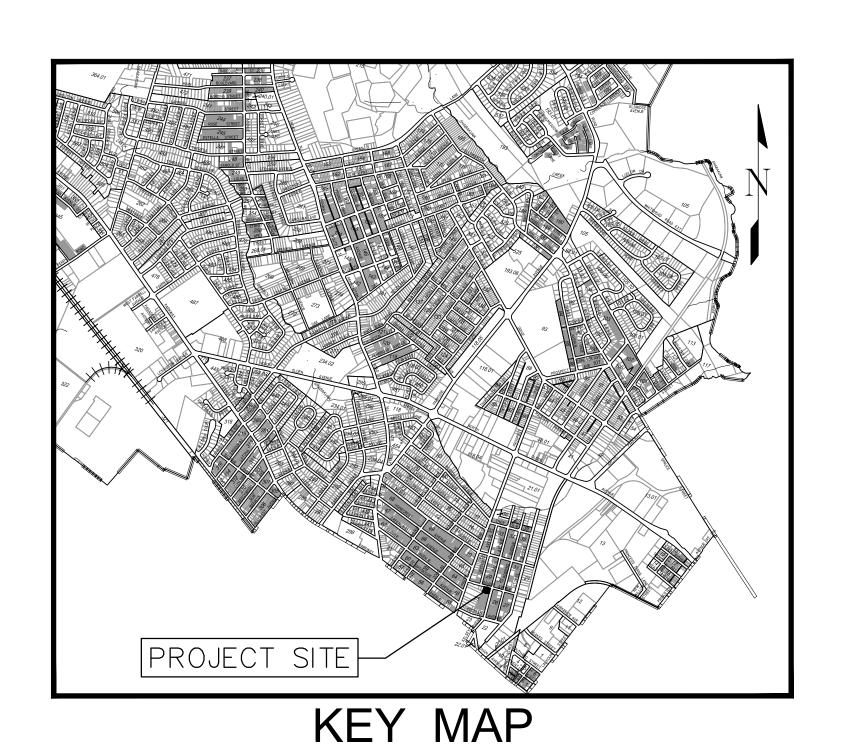
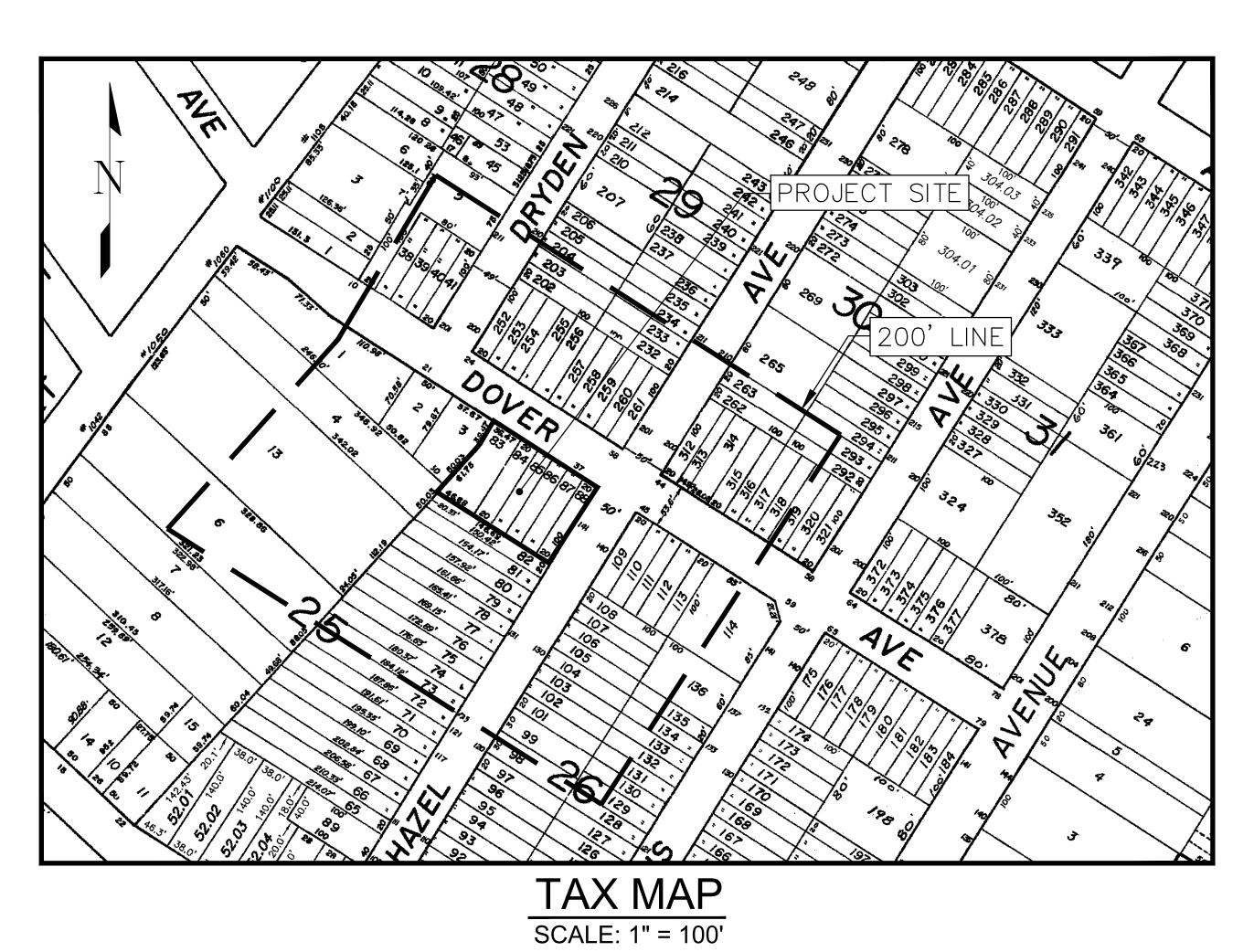
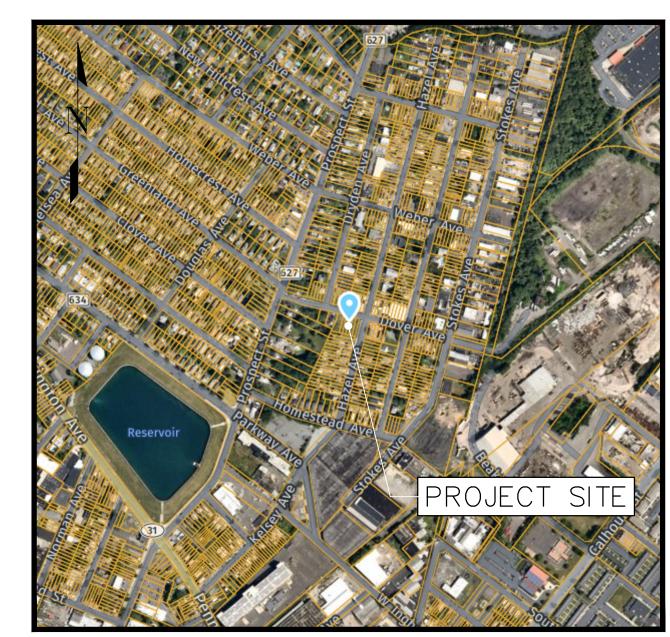
# PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR: URBAN DECO, LLC

BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY



SCALE: 1"=2000'

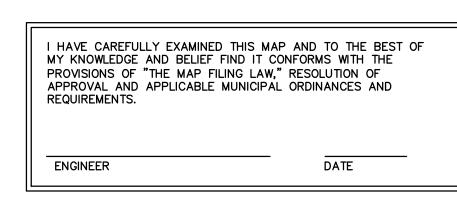


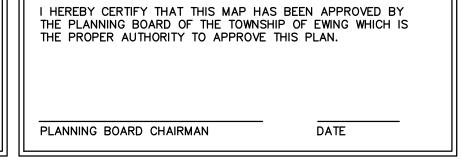


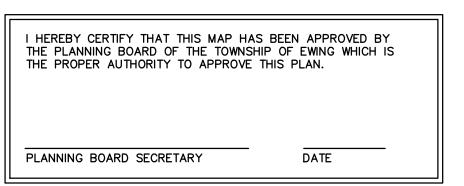
AERIAL MAP
SCALE: N.T.S.

# PREPARED BY MG ENGINEERING ASSOCIATES, LLC 76 ARGYLE AVENUE BLACKWOOD, NEW JERSEY 08012 WWW.MGEASSOCIATES.COM









#### SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	DEMOLITION PLAN
3	SITE AND LANDSCAPE PLAN
4	GRADING PLAN
5	LIGHTING PLAN
6	SOIL EROSION & SEDIMENT CONTROL PLAN
7	SESC NOTES AND DETAILS
8-9	CONSTRUCTION DETAILS

#### ENGINEER: MICHAEL GALANTE PE

76 ARGYLE AVENUE BLACKWOOD, N.J. 08012 PHONE: 1-856-404-0540

APPLICANT/OWNER:

URBAN DECO, LLC.

21 TERRIER PLACE

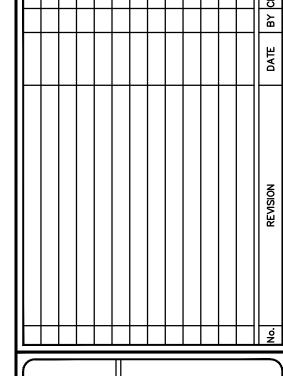
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# 24GA28279000

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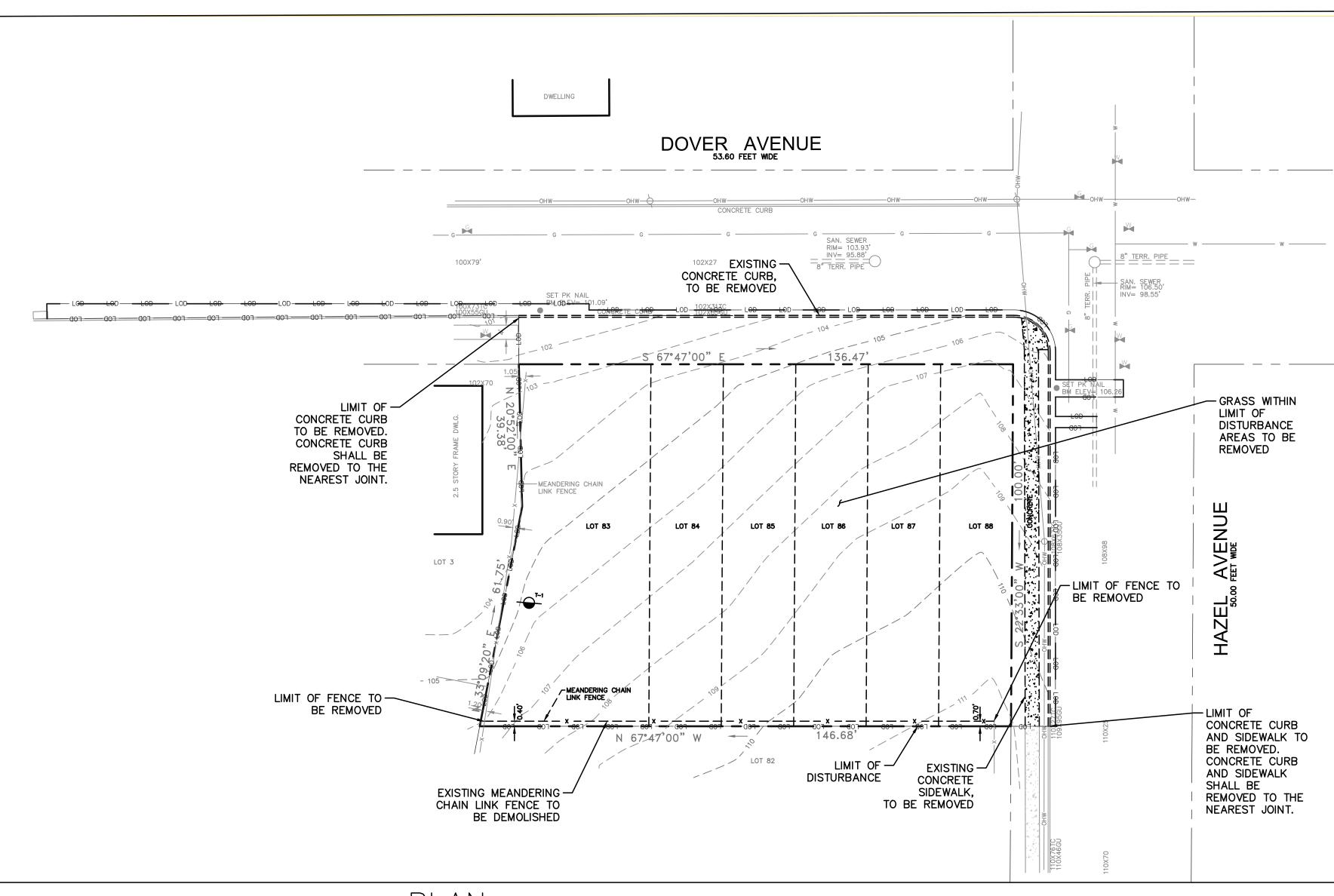
JRBAN DECO, LLC

32.37 DOVED AVENILE

DRAWN BY: DESIGN BY: CHECKED BY: SCALE:
M.D.G. M.D.G. M.D.G. AS NOTED

DATE: SHEET No.:
APRIL, 2021

JOB No.:
2021-555



SCALE: 1"= 20'

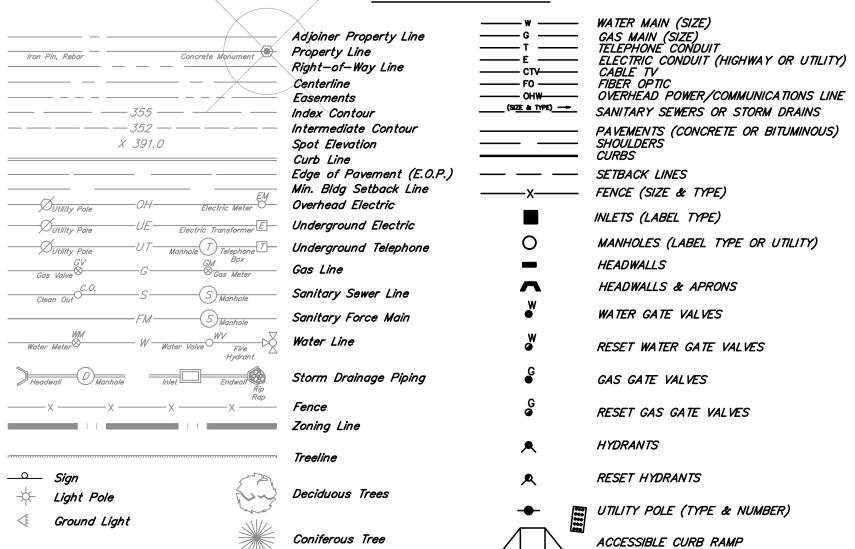
KEY

— — — SAWCUT LINE

## NOTES:

- 1.) BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
- 2.) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- 3.) VERTICAL DATUM IS REFERENCED TO NAVD 1988.
- 4.) THIS SURVEY IS REFERENCED TO A FORMER SURVEY BY DONALD P. SWEENEY, P.L.S., DATED 2-2-2018 AND REVISED TO 2-7-2018.
- 5.) 100X00 INDICATES TYPICAL SPOT ELEV..
- 6.) THE EXISTANCE AND/OR LOCATION OF UNDERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.
- 7.) CONTAINING 13,899 S.F. OR 0.32 ACRES±

#### PLAN LEGEND

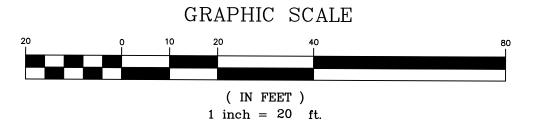


#### GENERAL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ASPHALT PAVEMENT, CONCRETE CURB, SITE FEATURES, AND VEGETATION FOR THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS WITHIN THE PROPERTY BOUNDARIES AS INDICATED ON THE PLANS. ALL FEATURES WITHIN THE PROPERTY BOUNDARIES SHALL BE REMOVED UNLESS OTHERWISE INDICATED. ALL DISCREPANCIES SHALL BE COORDINATED WITH THE ENGINEER, PRIOR TO THE START OF CONSTRUCTION.
- 2. WITHIN THE TOWNSHIP R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONCRETE CURB AS WELL AS FEATURES INDICATED ON THE PLANS. THE CONTRACTOR SHALL REMOVE CONCRETE CURB TO THE NEAREST JOINT.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE SITE AND OFFSITE AREAS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AUTHORITIES PRIOR TO UNDERGROUND EXCAVATIONS AND CALL IN A NJ—ONE CALL PRIOR TO START OF CONSTRUCTION AND DURING THE DURATION OF CONSTRUCTION AS NECESSARY TO LAWFULLY EXCAVATE.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH LOCAL UTILITY COMPANIES PRIOR TO REMOVAL OF ANY EXISTING ONSITE UTILITIES. ALL EXISTING UTILITIES MUST BE ABANDONED OR REMOVED IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING AND COMPACTING ALL TRENCHES. NO TRENCHES SHALL BE LEFT OPEN AFTER COMPLETION OF WORK FOR THE DAY. TRENCH COMPACTION SHALL BE COMPLETED IN 8 INCH LIFTS.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- 8. THE CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER, COUNTY AND TOWNSHIP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 9. MG ENGINEERING ASSOCIATES, LLC MAKES NO CLAIM AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE DEPTH OF THE EXISTING UTILITIES; IN THE EVENT OF A UTILITY CONFLICT, THE ENGINEER SHALL BE NOTIFIED.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE EWING LAWRENCE SEWER AUTHORITY FOR ANY WORK ASSOCIATED WITH THE CONNECTION OF THE SEWER SERVICES TO THE PROPOSED STRUCTURE. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE WITH TRENTON WATER UTILITY FOR PROPOSED WATER SERVICES.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH PSE&G FOR GAS AND ELECTRIC SERVICE.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ROAD OPENING, CONCRETE CURB, AND BUILDING PERMITS NECESSARY FOR CONSTRUCTION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR RESETTING VALVE BOXES, MANHOLES, ETC.. NECESSARY FOR THE CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- 14. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC. THE TRAFFIC CONTROL DEVICES AND TRAFFIC CONTROL LAYOUT SHALL CONFORM TO NJDOT AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISCONNECTING ELECTRICAL UTILITIES TO ANY ONSITE FEATURES. CONTRACTOR SHALL BARE ALL COSTS FOR ELECTRICAL UTILITIES REMOVAL. ALL ELECTRICAL DISCONNECTIONS SHALL BE COMPLETED BY A LICENSED ELECTRICIAN.
- 16. CONTRACTOR SHALL HIRE AN NJ LICENSED LAND SURVEYOR TO STAKE OUT PROPOSED IMPROVEMENTS AS WELL AS LIMITS OF DISTURBANCE.
- 17. CONTRACTOR IS RESPONSIBLE FOR PERFORMING TEST PITS AS NECESSARY TO DETERMINE LOCATION AND DEPTH OF EXISTING UTILITIES.
- 18. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ONSITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OF OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT A PROPER FACILITY.
- 19. CONTRACTOR SHALL PROVIDE CURB STAKEOUT, STRUCTURE STAKEOUT, AND SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF CONCRETE CURB. ALL CURB INSTALLED WITHOUT REVIEW OF STAKEOUT IS AT CONTRACTORS OWN RISK.
- 20. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS ANY PROPOSED UTILITY CONNECTIONS AS PART OF THE PROPOSED CONSTRUCTION.
- 21. WHEN REMOVING EXISTING STRUCTURES, CONTRACTOR SHALL ABIDE BY ALL OSHA REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
- 22. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PROPOSED STORMWATER AND SEWER STRUCTURES FOR REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
- 23. CONTRACTOR SHALL PERFORM TEST PITS AS NECESSARY TO LOCATE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.



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#### ENGINEER: MICHAEL GALANTE PE

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21 TERRIER PLACE

KENDALL PARK, NJ 08824

DATE: 10-6-2021

MICHAEL D. GALANTE

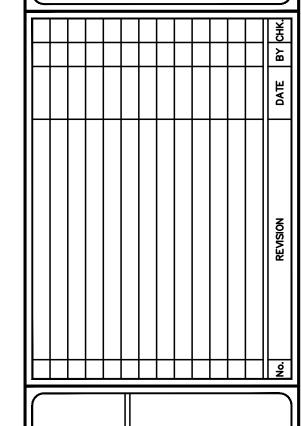
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CERTIFICATE OF AUTHORIZATION
# 246428273000

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MOLITION PLAN

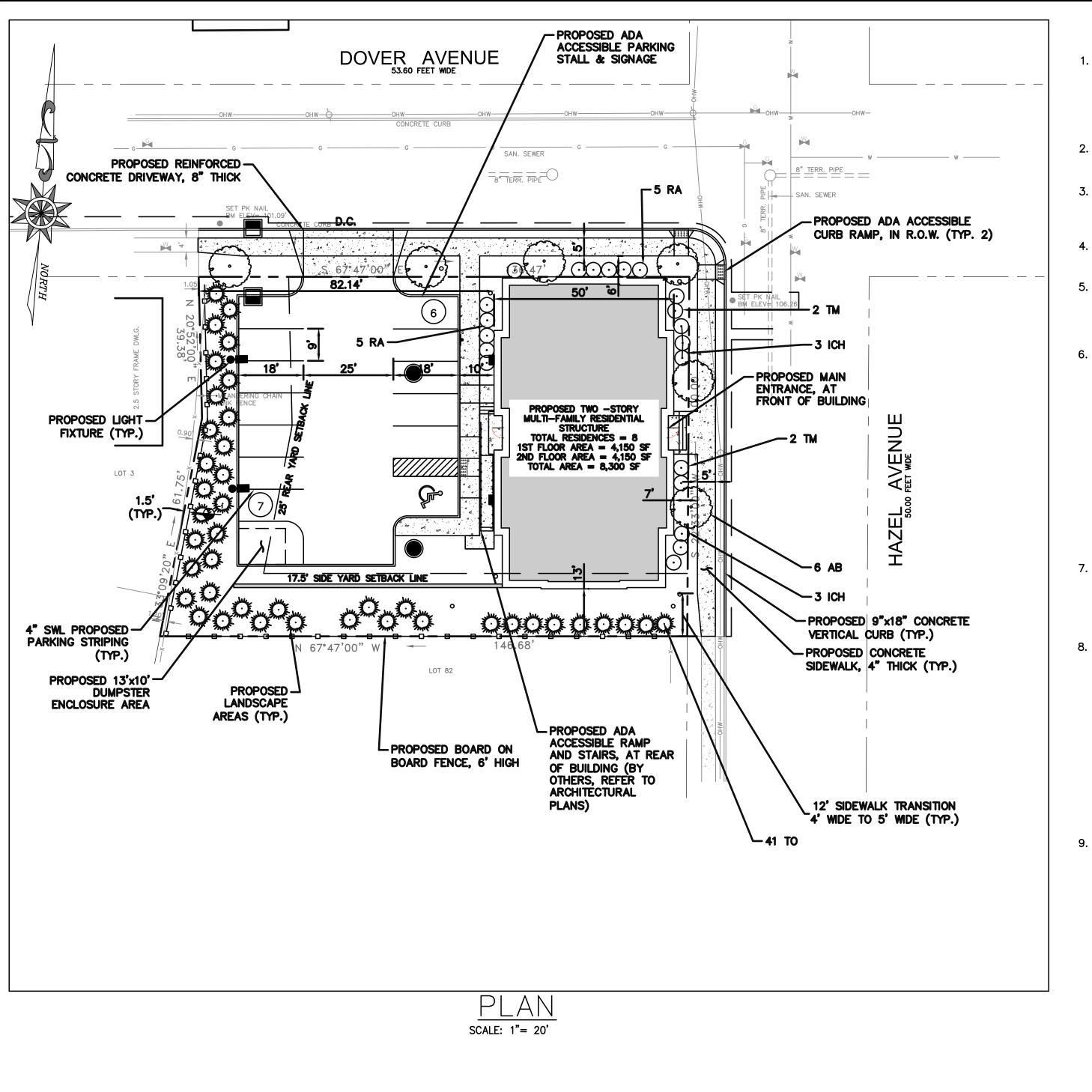
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M.D.G. M.D.G. M.D.G. AS NOTED

DATE: SHEET No.:
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2021-555



#### **ZONING NOTES:**

- THIS PLAN HAS BE PREPARED BASED ON REFERENCED INCLUDING: PLAN OF SURVEY JTS ENGINEERS AND LAND SURVEYORS, INC. BOUNDARY AND TOPOGRAPHY PLAN SOUTHWESTERLY LINE OF DOVER AVENUE DATED: 3-6-2021 PROJECT NO. 21-073
- OWNER: URBAN DECO, LLC 21 TERRIER PLACE KENDALL PARK, NJ 08824
- APPLICANT: URBAN DECO, LLC 21 TERRIER PLACE KENDALL PARK, NJ 08824
- 4 PROPERTY DATA: 33-37 DOVER AVENUE TOWNSHIP OF EWING, MERCER COUNTY, NJ PLATE 1, BLOCK 25, LOT 83-86
- 5. ZONING: OARA (OLDEN AVENUE REDEVELOPMENT AREA) S-7B SUBAREA

PROPOSED USE: MULTI-FAMILY RESIDENTIAL - PERMITTED USE

6. BULK TABLE

ZONE REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	22,000 SF	13,898.56 SF (V)
MIN. LOT WIDTH	80'	100'
MIN. FRONT YARD	*	0'
MIN. SIDE YARD	17.5'**	13'
MIN. REAR YARD	25'	84.4'
MAX. BUILDING HEIGHT	4-1/2 STORIES/45'	2 STORIES/35'
MAX. BUILDING COVERAGE	30%	29.85%
MAX. IMPERVIOUS COVERAGE	70%	68.32%
MAX. FAR	1.0	0.60

- \* 0-15' STOOPS ENCOURAGED
- \*\* 15' ADJACENT TO LIKE STRUCTURES.  $\frac{1}{2}$  THE HEIGHT OF STRUCTURE WHEN ADJACENT TO ALL OTHER RESIDENTIAL TYPES

#### 7. ACCESSORY STRUCTURE REQUIREMENTS

- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE SIDE LOT LINE.
- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE REAR LOT LINE. - ACCESSORY BUILDINGS SHALL BE ONE STORY AND A MAXIMUM OF 15' HIGH.

#### 8. ADDITIONAL REQUIREMENTS

- -SEPARATION FROM PUBLIC STREETS. ALONG EACH STREET LINE, AS DEFINED BOUNDING THE DISTRICT A SEVEN-FOOT STRIP SHALL BE PROVIDED, SUITABLY LANDSCAPED EXCEPT FOR NECESSARY SIDEWALKS AND
- SCREENING OR BUFFER STRIP. ALONG EACH SIDE AND REAR PROPERTY LINE WHICH ADJOINS A RESIDENTIAL DISTRICT IN THE TOWNSHIP OR A SIMILAR DISTRICT IN AN ADJOINING MUNICIPALITY, A SCREEN OR BUFFER PLANTING STRIP SHALL BE PROVIDED CONSISTING OF MASSED EVERGREENS AND SHRUBS OF SUCH SPECIES AND SIZE AS WILL PRODUCE AN EFFECTIVE SCREEN AT THE TIME OF PLANTING.
- 50 FEET OF ANY STREET INTERSECTION, THE DISTANCE IS TO BE MEASURED FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES AT THE CORNER AFFECTED AND THE CLOSEST POINT OF SUCH PROPOSED DRIVEWAY. NO ENTRANCE OR EXIT, AT THE CURBLINE ONLY, SHALL BE CLOSER THAN FIVE FEET FROM A SIDE LOT LINE. - LOADING DOCKS AND SERVICE AREAS. NO LOADING DOCK OR SERVICE AREA MAY BE ON ANY STREET
- FRONTAGE. - OUTDOOR STORAGE AREAS - NO USE OR ACCESSORY USE SHALL BE CONSTRUCTED TO PERMIT THE KEEPING OF ARTICLES, EQUIPMENT, GOODS OR MATERIALS IN THE OPEN, EXPOSED TO PUBLIC VIEW, ADJACENT
- RESIDENCES OR A RESIDENTIAL DISTRICT. WHEN NECESSARY TO STORE OR KEEP SUCH GOODS OR MATERIALS IN THE OPEN, THE AREA SHALL BE FENCED WITH A SCREEN OR BUFFER PLANTING STRIP AND SITUATED NO CLOSER THAN 50' TO A RESIDENTIAL DISTRICT LINE.

#### PARKING REQUIREMENTS:

DIAMETER OF BALL PLUS 18 INCHES

SHADE TREE PLANTING DETAIL

NOT TO SCALE

- REQUIRED PARKING STALL SIZE: 9 X 20' FOR 90" PARKING EXCEPT 9' X 18' WITH OVERHANG. 9' X 18' PROPOSED WITH 2' OVERHANG - AT THE DISCRETION OF THE BOARD, UP TO 30% OF REQUIRED PARKING SPACES MAY BE DESIGNED FOR
- COMPACT CAR USE. SUCH SPACES SHALL NOT BE LESS THAN 8' WIDE NOR LESS THAN 17' DEEP. DEPTH MAY BE REDUCED TO 16' WITH 2' OVERHANG. - INTERIOR DRIVEWAYS: 24' WIDE FOR 90° PARKING

#### 18' WIDE FOR 60' PARKING 14' WIDE FOR 30° OR 45° PARKING

- REQUIRED PARKING STALLS (DWELLING UNITS): 1.5 SPACES REQUIRED FOR EACH DWELLING UNIT PROPOSED PARKING STALLS = 8 DWELLING UNITS X 1.5 SPACES PER UNIT = 12 PARKING SPACES 12 SPACES REQUIRED; 13 PROPOSED

#### RSIS REQUIREMENTS

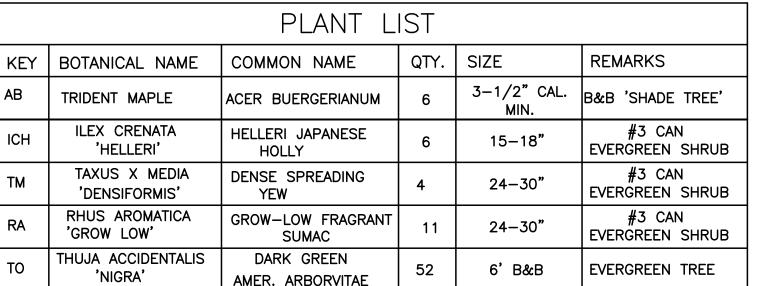
- EIGHT (8) 2 BEDROOM APARTMENTS = 2 PER UNIT = 16 SPACES REQUIRED TOTAL PROPOSED SPACES = 13 SPACES; TOTAL REQUIRED SPACES (RSIS) = 16 SPACES (DEVIATION)

### **IMPERVIOUS AREA**

# TOTAL IMPERVIOUS AREA = 9,496 SF

#### PLANTING NOTES:

- 1. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES, AND OTHER REQUIREMENTS IS SHOWN ON THE PLANT LIST. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- 2. NO SUBSTITUTIONS SHALL BE ACCEPTED, EXCEPT WITH WRITTEN PERMISSION OF THE DESIGN
- 3. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND ESTABLISHED ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISFIGURING KNOTS, BARK ABRASIONS, INJURIES FROM SUNSCALD, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTIONS. ALL PLANT MATERIAL INSTALLED BETWEEN OCTOBER 15 AND MARCH 15 SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF THE MATERIAL TO THE SITE.
- 4. QUALITY AND SIZE OF PLANT, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. THE TRANSPLANTING AND PLANTING OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "ANSI A300 PART 6: TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES (TRANSPLANTING)."
- 6. CONTRACTOR IS RESPONSIBLE FOR PLANTING IN ACCORDANCE WITH APPROVED PLANS.
- 7. DECIDUOUS AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ANY OVERHEAD UTILITY WIRES AND/OR UNDERGROUND UTILITIES.
- 8. DECIDUOUS AND EVERGREEN TREES SHALL BE PLANTED AT LEAST TWO (2) FEET FROM ANY CURBING, PAVING, OR SIDEWALK. WHENEVER POSSIBLE THIS DIMENSION SHOULD BE INCREASED TO FOUR (4) FEET. ALL PLANTINGS, EXCEPT GROUND COVERS, SHOULD BE PLANTED AT LEAST TWO (2) FEET FROM ANY BUILDING AND FIVE (5) FEET FROM ABOVE AND BELOW GROUND
- 9. PLANTING MIXTURE SHALL CONSIST OF 70% EXISTING SOIL FROM THE PLANTING SITE AND 30% HUMUS OR MUSHROOM SOIL. PRIOR TO USING EXISTING TOPSOIL, REMOVE ALL FOREIGN DEBRIS AND ALL ROCKS OR STONES LARGER THAN 2 INCHES. EACH CUBIC YARD SHALL BE ADDED AND INCORPORATED BY THOROUGHLY MIXING, FOUR POUNDS OF COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 6-6-6.
- 10. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS AND SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE.
- 11. ALL PLANT BEDS SHALL BE MULCHED WITH THREE (3) INCHES OF DOUBLE SHREDDED HARDWOOD BARK MULCH OR OTHER MATERIAL APPROVED BY THE OWNER OR ENGINEER. THE LIMIT OF THE MULCH FOR TREES SHALL EXTEND 12 INCHES BEYOND THE PLANTING HOLE, AND FOR SHRUBS AND BEDS, THE ENTIRE SHRUB OR BED AREAS AS INDICATED ON THE PLAN OR APPROVED IN THE FIELD NO MULCH SHALL BE PLACED WITHIN THREE (3) INCHES OF THE TRUNK OR TRUNK FLARE. NO SEPARATE PAYMENT SHALL BE MADE FOR MULCH, BUT THE COST SHALL BE INCLUDED IN VARIOUS ITEMS OF THE PROPOSAL.
- 12. ALL PLANTING BEDS SHALL BE ROTOTILLED TO A DEPTH OF TEN (10) INCHES PRIOR TO ANY PLANTING. ALL STONES, WIRE, CONCRETE AND UNSUITABLE MATERIALS SHALL BE REMOVED. ALL SHRUB PLANTINGS SHALL BE INSTALLED IN MULCHED PLANTING BEDS EXTENDING AT LEAST TWO (2) FEET FROM THE PLANTS OR AS INDICATED ON THE APPROVED PLANS.
- 13. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR 1 YEAR. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING PLANT MATERIAL. ONCE PLANTING MATERIAL IS ESTABLISHED AND ACCEPTED. THE OWNER WILL BE RESPONSIBLE FOR CONTINUAL MAINTENANCE.
- ENTRANCES AND EXITS. ALL ENTRANCES AND EXITS UPON A PUBLIC STREET SHALL NOT BE LOCATED WITHIN 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING. ANY RELOCATED PLANT MATERIALS SHALL BE COORDINATED WITH THE ENGINEER.
  - 15. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, AND EQUIPMENT, INCIDENTALS AND CLEAN UP.
  - 16. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
  - PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. ALL PLANT MATERIALS SHALI REMAIN PROTECTED IF IT IS NOT PLANTED WITHIN DAY OF DELIVERY, BUT SHALL NOT EXCEED TWO (2) DAY PERIOD AFTER DELIVERY.
  - 18. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE
  - 19. ALL NON-BIODEGRADABLE ROOT WRAPPINGS (INCLUDING WIRE BASKETS) ARE TO BE REMOVED COMPLETELY BEFORE PLANTING.
  - 20. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. SHEARS ARE TO BE STERILIZED BETWEEN TREES.
  - 21. ALL INJURED ROOTS SHALL BE PRUNED BEFORE PLANTING, AND OBVIOUS GIRDLING ROOTS REMOVED, PRUNED OR EXTENDED AS APPROPRIATE. PRUNE BRANCHES THAT CROSS. THE MAIN LEADER OF DECIDUOUS TREES SHOULD NOT BE CUT BACK. LONG SIDE BRANCHES MUST BE SHORTENED.
  - 22. TREES ARE TO BE SUPPORTED IMMEDIATELY AFTER PLANTING. TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE AS INDICATED.
  - 23. UNLESS OTHERWISE NOTED, ALL DECIDUOUS AND EVERGREEN TREES SHALL HAVE A SINGLE TRUNK.
  - 24. DECIDUOUS AND EVERGREEN TREES WHICH ARE B&B SHALL BE DRUM LACED IN LIEU OF WIRE BASKETS.



ALL EXTERIOR GROUND AREAS NOT OCCUPIED BY BUILDINGS, STRUCTURES AND PAVING (EXCEPT AREAS INDICATED TO BE UNDISTURBED AND PLANTING BEDS) SHALL BE LAWN AREAS.



GRAPHIC SCALE ( IN FEET )

1 inch = 20 ft.

DRAWN BY : DESIGN BY : CHECKED BY : SCALE : M.D.G. M.D.G. M.D.G. AS NOTED SHEET No.: <u>JOB No. :</u> 2021-555

SI

**ENGINEER:** 

MICHAEL GALANTE PE

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BLACKWOOD, N.J. 08012

PHONE: 1-856-404-0540

KENDALL PARK, NJ 08824

APPLICANT/OWNER:

URBAN DECO, LLC.

21 TERRIER PLACE

10-6-2021

<u>Z</u> =

GINE ATES

MICHAEL D. GALANTE

NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

**NOT FOR** 

CONSTRUCTION

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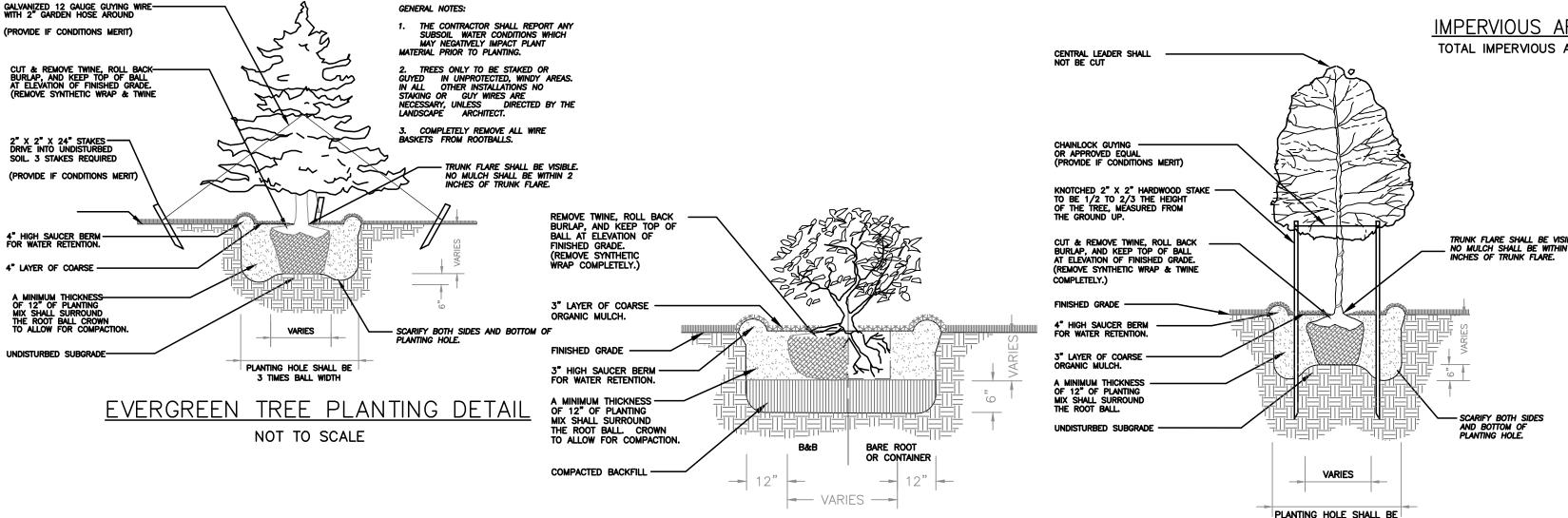
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RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO

ASSOCAITES, LLC FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM

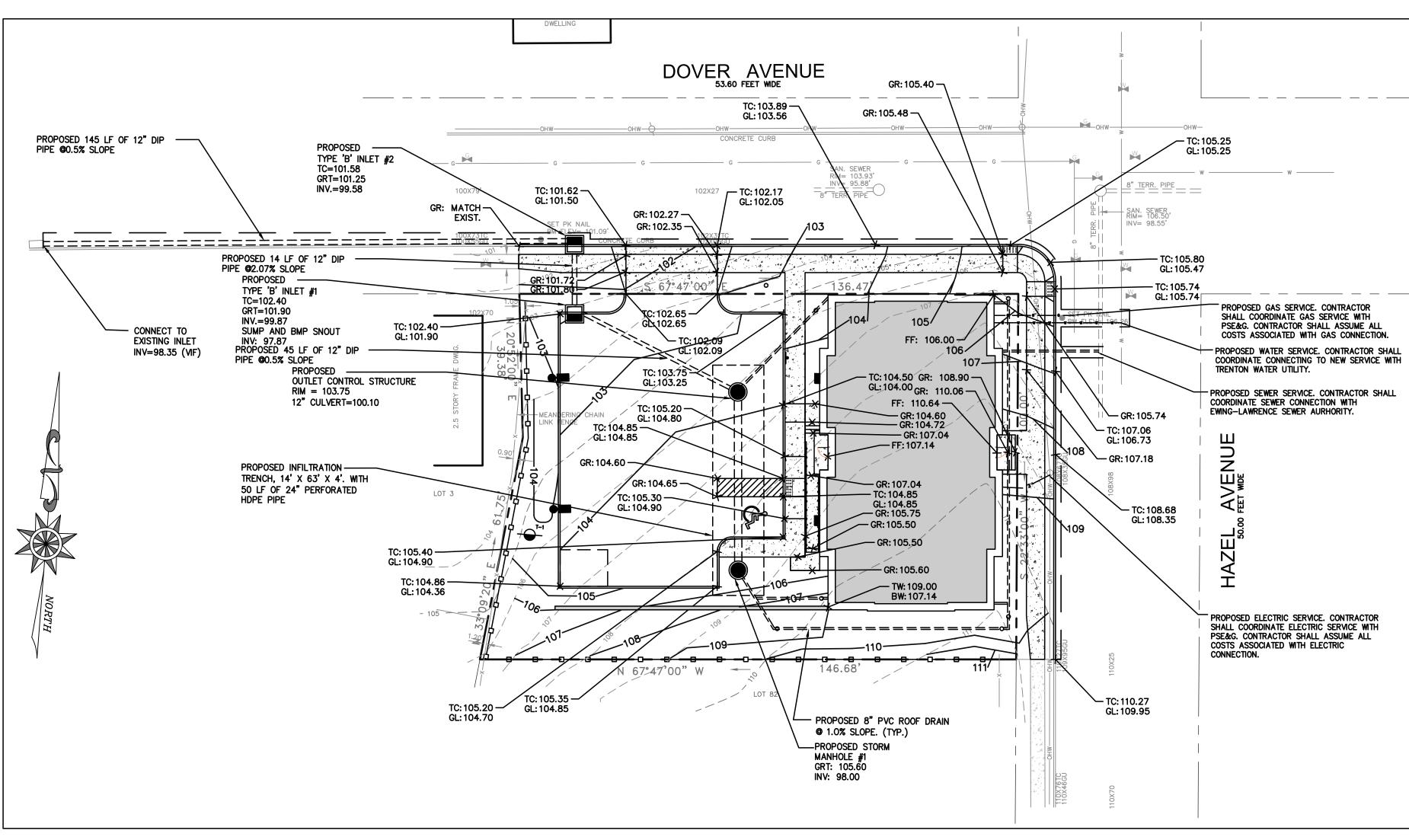
BY MG ENGINEERING ASSOCIATES, LLC, FOR THE

MG ENGINEERING ASSOCIATES, LLC; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS MG ENGINEERING



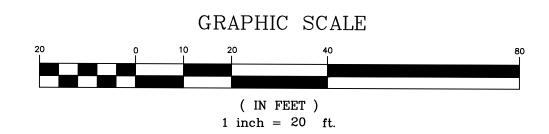
SHRUB PLANTING DETAIL

NOT TO SCALE



PLAN
SCALE: 1"- 20'





#### GRADING NOTES

- 1. CONTRACTOR SHALL MAINTAIN A MAX. 2.0% CROSS SLOPE AND 5.0% FORWARD SLOPE IN ALL ADA AREAS. ADA PARKING STALLS AND PATH SHALL MAINTAIN A MAX. 2.0% SLOPE IN ALL DIRECTIONS.
- 2. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND APPLICABLE REPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL UNSUITABLE MATERIALS SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE AND BACKFILL MATERIALS SHALL CONSIST OF CONTROLLED DENSE GRADED AGGREGATE. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUB-GRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS IN THE SOILS REPORT.
- 3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE AT THE CONTRACTORS OWN RISK.
- 4. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL THAT IS COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD.
- 5. CONTRACTOR SHALL SUBMIT CURB CUT SHEETS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION. IF CURB CUT SHEETS ARE NOT SUBMITTED, CONTRACTOR IS PROCEEDING AT THEIR OWN RISK.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILTS UNLESS OTHERWISE DIRECTED WITHIN THE CONTRACT.
- 7. REFER TO SITE PLAN AND GENERAL NOTES FOR ADDITIONAL DETAILS.

#### UTILITY NOTES

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINT (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY UTILITY "ONE CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE AND WITHIN ANY R.O.W. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- 3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. IF A CONFLICT EXISTS WITH THE SITE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- 4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- 5. THE MINIMUM DOMESTIC WATER SERVICE SIZE SHALL BE 1 INCH.
- 6. SEWER MAINS SHALL BE SEPARATED FROM WATER MAIN BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE NOTED.
- 7. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CL.52.
- 8. ALL SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL UTILITY COMPANIES RULES AND
- 9. ROOF LEADER COLLECTION PIPING SHALL BE COORDINATED WITH ARCHITECTURAL PLANS PRIOR TO INSTALLATION.
- 10. MANUFACTURED REINFORCED CONCRETE STORM PIPE AND HDPE PIPE SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS. SUBMITTALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL.
- 11. ALL UTILITIES WILL BE THE RESPONSIBILITY OF THE APPLICANT.

#### ADA NOTE

- 1. CONTRACTOR SHALL MAINTAIN A MAX. 2.0% SLOPE IN ANY DIRECTION IN ALL ADA AREAS. CONTRACTOR SHALL MAINTAIN A MAX. 2.0% CROSS SLOPE ON ALL SIDEWALK AND ASPHALT CROSSWALK AREAS AND A MAX 5.0% FORWARD SLOPE.
- 2. ALL SIDEWALK LANDING AND TURNING AREAS SHALL BE A MAX. 2.0% GRADE. IN EVERY DIRECTION.
- 3. CONTRACTOR SHALL COORDINATE WITH ENGINEER ON CONSTRUCTION OF ADA CURB RAMPS. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF FULLY COMPLIANT CURB RAMPS. ANY DISCREPANCIES SHALL BE COORDINATED TO THE ENGINEER IMMEDIATELY.

#### ROOF LEADER INSTALLATION NOTES

CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING UTILITIES AND COORDINATE WITH ENGINEER ANY CONFLICTS THAT MAY FXIST.

#### WATER SERVICE NOTES

1. THE PROJECT PROPOSES TO INSTALL A NEW WATER SERVICE. PRIOR TO THE START OF CONSTRUCTION, PROPOSED WATER CONNECTION SHALL BE COORDINATE WITH TRENTON WATER UTILITY AND CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, FOR THE PROPOSED WATER CONNECTION.

#### SEWER SERVICE NOTES

1. THE PROJECT PROPOSES TO CONNECT INTO THE EXISTING SANITARY SEWER MAIN LOCATED ALONG HAZEL AVENUE AND UTILIZE THE EXISTING SEWER CONNECTION AS INDICATED ON THE PLAN. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE EWING LAWRENCE SEWER AUTHORITY AND OBTAIN NECESSARY PERMITS FOR THE PROPOSED CONNECTION.

#### GAS AND ELECTRIC SERVICE NOTES

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE GAS AND ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE WITH PSE&G FOR THE PROPOSED ELECTRIC SERVICE AND GAS SERVICE.

#### ENGINEER: MICHAEL GALANTE PE

76 ARGYLE AVENUE BLACKWOOD, N.J. 08012 PHONE: 1-856-404-0540

APPLICANT/OWNER:

URBAN DECO, LLC.

21 TERRIER PLACE

KENDALL PARK, NJ 08824

DATE: 10-6-2021

MICHAEL D. GALANTE

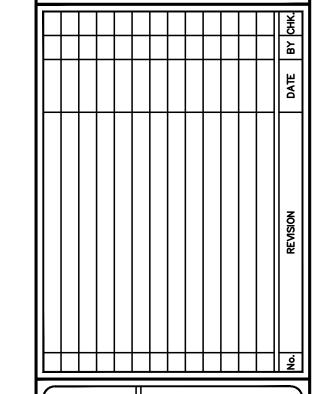
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING ASSOCIATES, LLC 76 ARGYLE AVENUE BLACKWOOD, N.J. 08012 PHONE: 1-856-404-0540 www.mgeassociates.com certificate of authorization # 24GA28279000

NOT FOR CONSTRUCTION

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SED MULTI-FAMILY RESIDENTIAL
DEVELOPMENT FOR:
URBAN DECO, LLC
CK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE

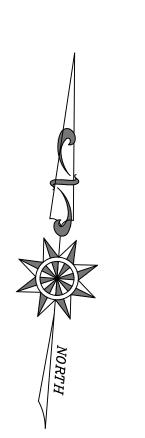
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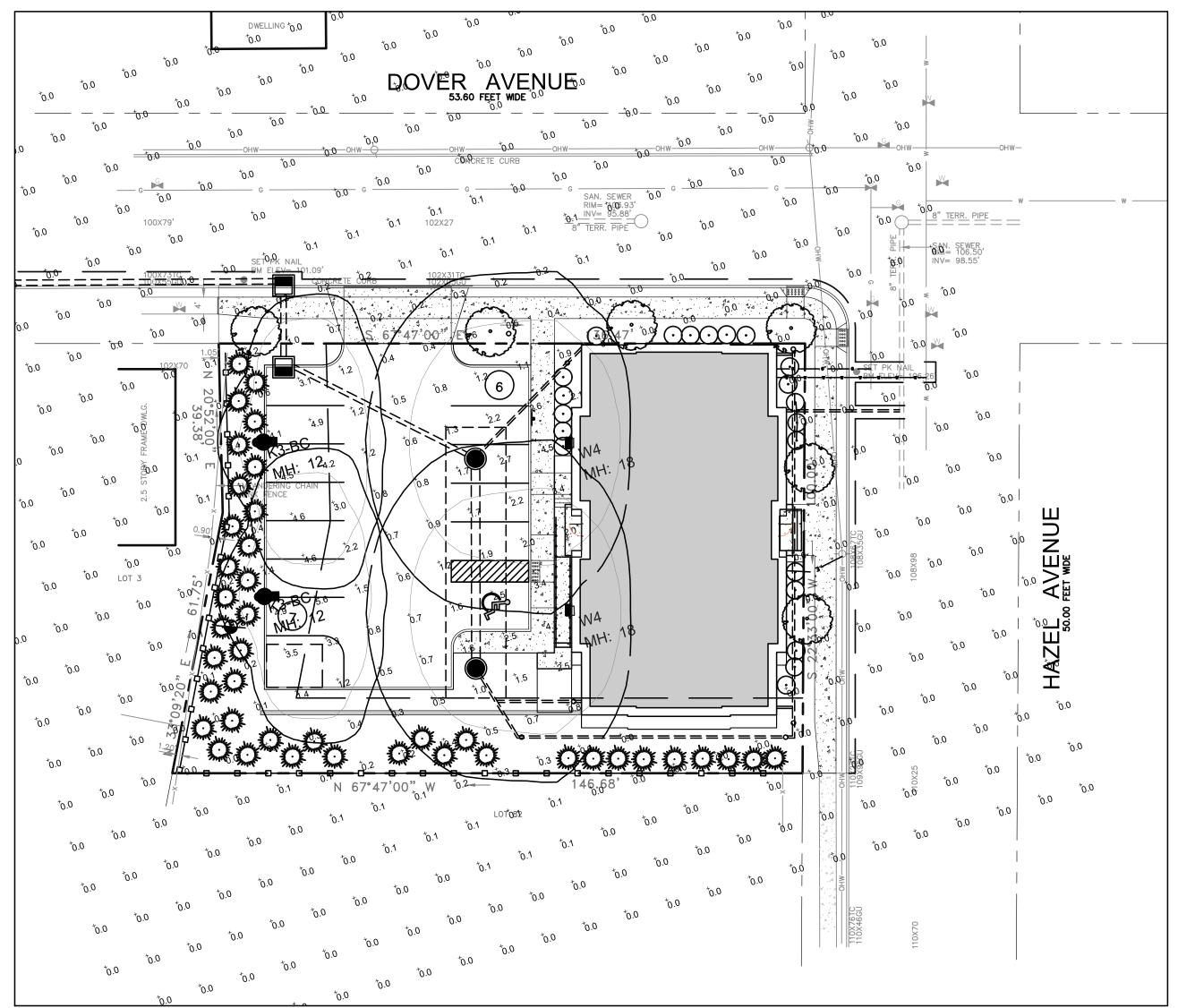
M.D.G. M.D.G. M.D.G. AS NOTED

DATE: SHEET No.:

APRIL, 2021

JOB No.:
2021-555





SCALE: 1"= 20'

### **KIM**LIGHTING®

# ARCHITECTURAL AREA/SITE

#### FEATURES

 TIR Optics Available in 580nm, 3000K, 4000K and 5000K standard CCT • Type 1, 2, 3, 4W, 5Q, 5W distributions 0 - 10V dimming drivers standard



CONSTRUCTION





#### SPECIFICATIONS

CONSTRUCTION (CONTINUED) One piece die-cast housing, low coppe · Arm is circular cut for specified round pole (<0.6% Cu) Aluminum Alloy with integral Optional cast, low copper aluminum electrical compartment secure the luminaire to 2" IPS pipe size arms Solid barrier wall separates optical an electrical compartments assembly. Attaches to the wall over the Double-thick wall with gussets on the

support-arm mounting end Housing forms a half cylinder with 55° front face plane providing a recess to allow a flush · Optical cartridge system consisting of a single-latch detail die cast heat sink, LED engine, TIR optics, gasket and bezel plate · All hardware is stainless steel or electro-zinc Cartridge is easily disassembled to replace Finish: fade and abrasion resistant electrostatically applied, thermally cured without the use of adhesives

triglycidal isocyanurate (TGIC) polyester powdercoat · One-piece die-cast, low copper (<0 6% Cu) aluminum allov lens frame with 1" minimum depth around the gasket flange Optional clear 1/8" thick tempered glass lens retained by eight steel clips with full silicone gasketing around the perimeter

Ontional fixture supplied with a one-piece fully gasketed. CAUTION: Use only when is limited by UV discoloration from sunlight A program of regular inspection and period maintain optimum fixture performance One-piece extruded aluminum arm with internal bolt guides and fully radiussed top and bottom

uminaire-to-pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief

with national, state and/or local electrical odes. Failure to do so may result in serious personal injury

Molded silicone gasket ensures a weather

proof seal around each individual LED

Features revolutionary individual LED optical

control based on high performance TIR

Optional BackLight Control for complete

Type 1, 2, 3, 4W, 5Q, and 5W standard

· Die-cast, low copper aluminum heat sink

Anodized aluminum heat sink modules

Fixtures must be grounded in accordance

3000K, 4000K, 5000K standard CCT, Amber

control of unwanted backlight

optical designs

INSTALLATION

Weight

LOCATION:

PROJECT:

RELATED PRODUCTS

8 Pavilion

CONTROLS

Wattage Range

Efficacy Range (LPW)

Reported Life (Hours)

• Dimming range from 10% to 100% through

Modular wiring harness in the service area

the use of standard 0-10V interface on the

provides user access to the dimming circuitry

· Optional factory programmed dimming profile

DATE:

CATALOG #:

**EPA Front View** 

42.2-73.3

52.6-133.4

L70/60,000

37 lbs 16.78 kg

EDGE OF WALL OR

#### Mirada Small Wall Sconce (XWS) Outdoor LED Wall Light



LSI's AirLink™ wireless control system

box (octagonal or square).

during installation.

more information.

emperature selection.

qualification information.

Suitable for wet locations.

IK10 rated luminiare per IEC 66262

polycarbonate lens (MTP).

mechanical impact code with clear

DesignLights Consortium® (DLC) qualified

product. Not all versions of this product

- 45° CHAMFER (ALL AROUN

FINISH GRADE

Warranty

Luminaire hinges to the top of the

options reduce energy and maintenance

costs while optimizing light quality 24/7.

directly to vertical surface or 4" junction

ounting plate and is secured via two

flush mount screws that help to conceal

warranty. Refer to https://www.lsicorp.co

Meets Buy American Act requirements.

IDA compliant; with 2700K or 3000K color

Title 24 Compliant; see local ordinance for

the hardware and prevent over tightening

voltage under-voltage, short-circuit and

• 0-10V dimming (10% - 100%) standard.

• Standard Universal Voltage (120-277 VAC)

Operating temperature: -40°C to +50°C (-40°F to +122°F).

Input 50/60 Hz or optional High Voltage

over temperature protection.

L70 Calculated Life: >60k Hours

• Total harmonic distortion: <20%

Power factor: >.90

Ordering Guide Performance Photometrics Dimensions

8 (3.6) Luminaire Weight Ibs (kg) **FEATURES & SPECIFICATIONS** 

119 - 151

 High-performance driver features over-· Rugged die-cast aluminum housing. • Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes

available. Consult factory.

housing): 20 lbs in carton.

resistant polycarbonate lens

Forward Throw Wide and Medium

distributions available.

**Optical System** 

Efficacy Range (LPW)

• Surge protection: 10kV surge suppression • Extended housing available with 1/2' • SF for 120, 277, 347 Line volts threaded hubs for surface conduit and DF for 208, 240, 480 Line volts rated wire. Wiring: 14GA wires rated 150°C Standard luminaire shipping weight: 10 lbs in carton.

CERTIFICATIONS AND LISTINGS Listed to UL1598 and CSA C22.2#250.0-24 for wet locations RoHS compliant

 This product qualifies as a "designated • The lens is fully gasketed with a one-piece country construction material" per FAR solid silicone gasket to keep out moisture 52.225-11 Buy American-Construction Materials under Trade Agreements effective and dust, providing an IP65 rating for the 6/06/2020. See Buy American Solutions Reflector system with recessed light engine • IDA approved, 3000K and warmer CCTs only

5 year warranty

· Optional diffused lens for reduced LED pixilation over the lens and maximum visual Zero uplight. Lumen Range 2,220-9,453

 Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI Minimum CRI of 80

STEEL ANCHOR BOLTS (TYP) —

#3 TIE BARS @ 6" O.C. (TYP) —

TO OTHER

4,000 PSI -

FOUNDATION

CONCRETE

3" MIN. COVER (TYP)

MIN. 18" BELOW GRADE

CONDUIT (TYP)

ADAPT PVC TO GALVANIZED

#3 TIE BARS @ 12" O.C. (TYP)

SPACED (GRADE 60 BARS)

8-#5 VERTICAL BARS EQUALLY --/

1" GALVANIZED RIGID STEEL-

 Input power stays constant over life. • Optional 10kV surge protection device meets a minimum Category C Low Choice of acrylic lens or high impact operation (per ANSI/IEEE C62.41.2). · High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation Driver is fully encased in potting material for moisture resistance. Driver complies with FCC standards. Accessible driver and electrical components. Optional Dual Drivers/Circuit/Power Feeds. Optional battery backup provides 90-min-

utes of constant power to the LED system, ensuring code compliance. A test switch/ Controls

indicator button is installed on the housing for ease of maintenance. Standard battery rated for 0° to 50° with cold weather battery rated for -20°C to 50°. 120-277V Only.

are DLC qualified. Please check the DLC Qualified Products List at www.designlighorg/QPL to confirm which versions are Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android

configuration app. LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsicorp.com
(513) 372-3200 • ©2020 LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.

-6" DIA. POLE

- GROUND ROD

**NOT FOR** 

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CONSTRUCTION

**ENGINEER:** 

MICHAEL GALANTE PE

*76 ARGYLE AVENUE* 

BLACKWOOD, N.J. 08012

PHONE: 1-856-404-0540

KENDALL PARK, NJ 08824

APPLICANT/OWNER:

URBAN DECO, LLC.

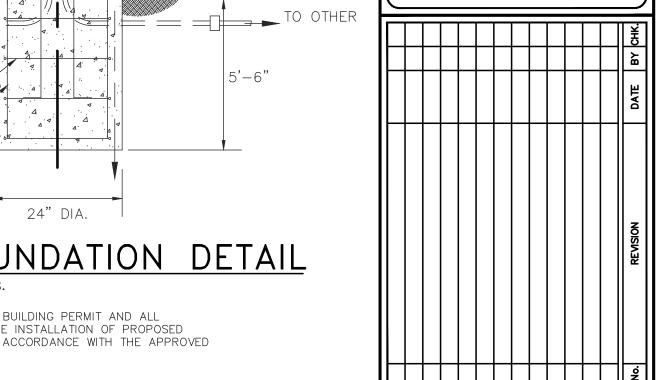
21 TERRIER PLACE

10-6-2021

MICHAEL D. GALANTI

NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

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NOTES: 1. CONTRACTOR SHALL OBTAIN A BUILDING PERMIT AND ALL REQUIRED INSPECTIONS FOR THE INSTALLATION OF PROPOSED LIGHT FIXTURE FOUNDATION IN ACCORDANCE WITH THE APPROVED

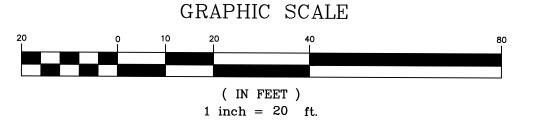
LIGHT POST FOUNDATION DETAIL

24" DIA.

#### LUMINAIRE SCHEDULE \*\*REFER TO LIGHTING FIXTURE CUTSHEETS FOR COMPLETE CATALOG NUMBERS\*\* CCT Qty Total Watts Delivered Lumens | Mounting Height | Filename | Fixture Type Manufacturer Catalog No. Description LED AREA LIGHT, TYPE 3 DISTRIBUTION WITH BACK LIGHT CONTROL, NOM 3800 0.900 K3-BC KIM LIGHTING RA172-36L-645-4K7-3-BC 73.35 RA172-36L-645-4K7-3-BC.ies LUMENS, 17IN DIA HOUSING LED WALL-MTD FULL CUTOFF AREA LIGHT, FORWARD THROW DISTRIBUTION, NOM LSI INDUSTRIES, INC. 3500K 0.900 | 39 5258 XWS-LED-05L-FTW-30-80CRI.ies XWS-LED-05L-FTW-30-80CRI

CALCULATION SUMMARY									
Label	СаІсТуре	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
CALC POINTS TO ZERO	Illuminance	Fc	0.28	5.6	0.0	N.A.	N.A.	10	10
PARKING	Illuminance	Fc	2.05	5.6	0.4	5.13	14.00		
WALKWAY	Illuminance	Fc	3.00	4.7	0.9	3.33	5.22		

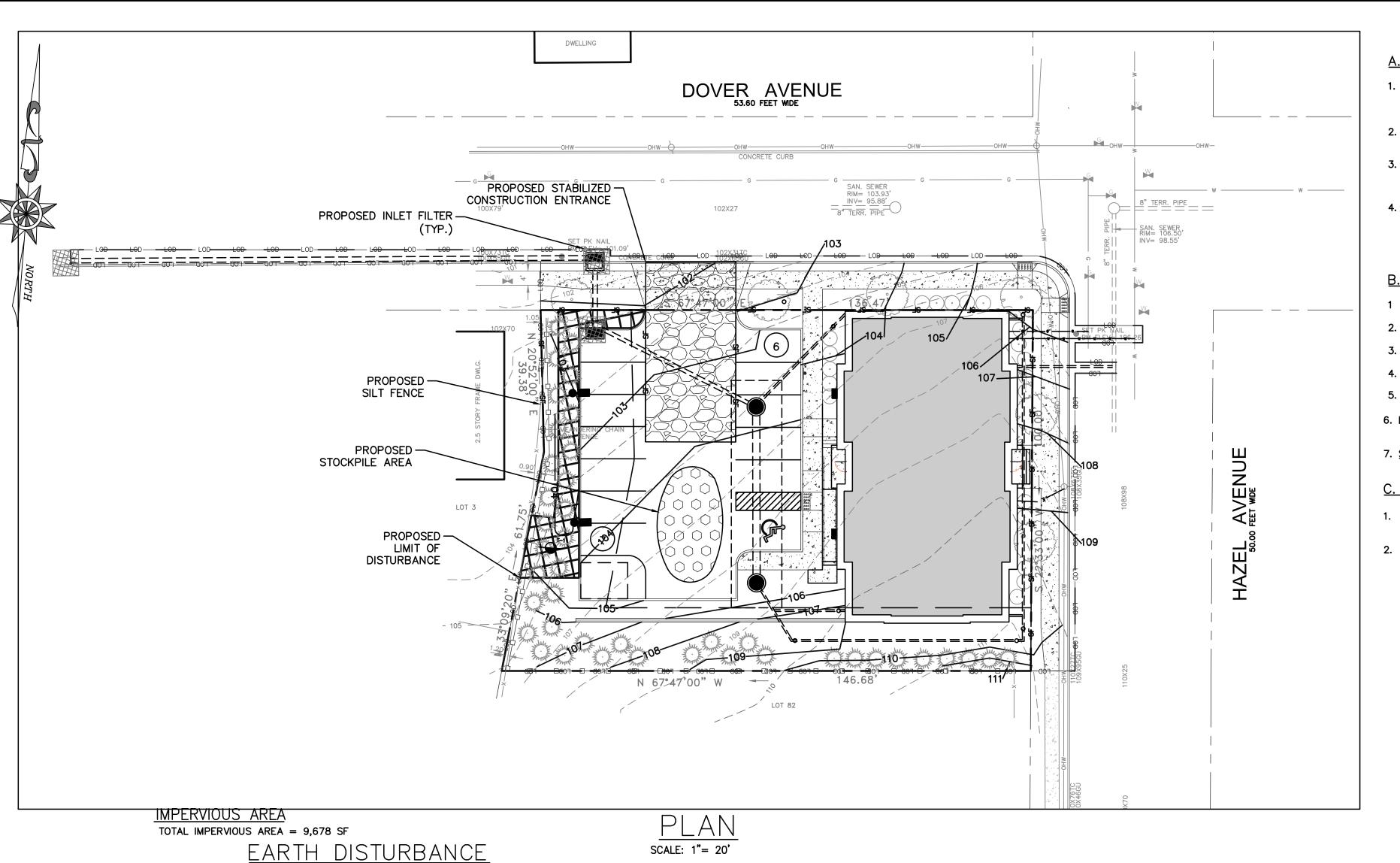




#### LIGHTING NOTES

- 1. THIS PLAN SHALL BE UTILIZED FOR LIGHTING PURPOSES ONLY. CONTRACTOR SHALL REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
- 2. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER WITH A COMPLETE LIGHTING DESIGN FOR REVIEW AND APPROVAL.
- 3. LUMINAIRE MOUNTING HEIGHT SHALL BE 12'
- 4. FREESTANDING LIGHT FIXTURES SHALL BE BLACK.

DRAWN BY : DESIGN BY : CHECKED BY : SCALE : M.D.G. M.D.G. AS NOTED APRIL, 2021 <u>JOB No. :</u> 2021-555



THIS PLAN SHALL BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

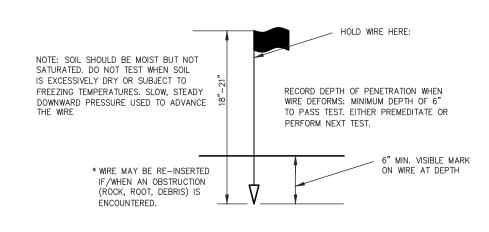
REFER TO SESC NOTES AND DETAILS (SHEET 7)

A. SOIL COMPACTION AND TESTING REQUIREMENTS

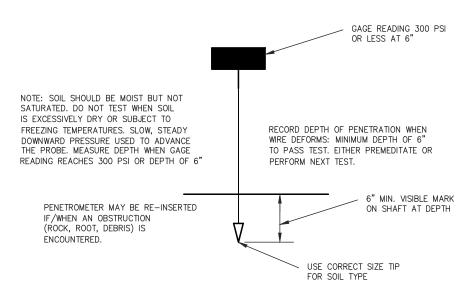
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VÉGETATIVE COVER.
- 2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATION OF COMPLIANCE FROM THE DISTRICT.
- 4. IN THE EVENT THAT THE TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

#### B. COMPACTION TESTING METHODS

- 1 PROBING WIRE TEST (SEE DETAIL)
- 2. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- 3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
- 4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
- 5. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO THE ASTM STANDARDS AND SPECIFICATION AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- 6. DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL LATEST EDITION.
- 7. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- C. PROCEDURES FOR SOIL COMPACTION MITIGATION
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- 2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL

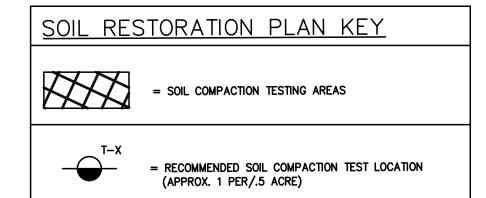


PROBE WIRE TEST 15.5 GA. STEEL WIRE (SURVEY FLAG)

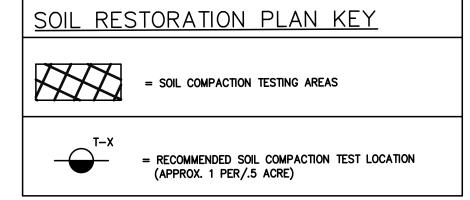


HANDHELD SOIL PENETROMETER TEST

TOTAL LIMIT SOIL RESTORATION = 671 SF (0.015 ACRES)



SECTION



#### NOTES:

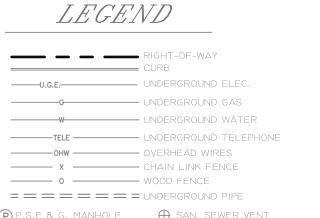
- 1.) BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
- 2.) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- 3.) VERTICAL DATUM IS REFERENCED TO NAVD 1988. 4.) THIS SURVEY IS REFERENCED TO A FORMER

SURVEY BY DONALD P. SWEENEY, P.L.S., DATED

- 5.) 100X00 INDICATES TYPICAL SPOT ELEV..
- 6.) THE EXISTANCE AND/OR LOCATION OF UN-DERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.

2-2-2018 AND REVISED TO 2-7-2018.

7.) CONTAINING 13,899 S.F. OR 0.32 ACRES±



MANHOLE (B) BELL MANHOLE W WATER METER © GAS METER WATER VALVE

GAS VALVE

VALVE

TOTAL LIMIT OF EARTH DISTURBANCE = 17,932 SF (0.411 ACRES)

- LOD---- LOD---- = PROPOSED LIMIT OF DISTURBANCE LINE

-----SF----- = PROPOSED SILT FENCE

EROSION AND SEDIMENT CONTROL PLAN NOTES AND LEGEND

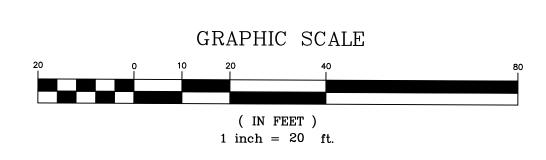
= DENOTES STABILIZED CONSTRUCTION ACCESS

= INLET FILTER

= DENOTES SOIL STOCKPILE AND STAGING LOCATION

## "A" SEWER INLET "B" SEWER INLET TRAFF. LIGHT STANDARD TRAFF. SIGN O- UTILITY POLE X OVERHEAD LIGHT

ROOF DRAIN



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#### MERCER COUNTY SOIL SEDIMENT AND CONTROL GENERAL NOTES

- . THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR MCSCD, 590 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690
- PHONE: 609-586-9603 FAX: 609-586-1117 EMAIL: PAULS1MERCER@AOL.COM 2.IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR A NJPDES CONSTRUCTION ACTIVITY STORMWATER 5G3 PERMIT (NJG0088323) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJ.GOV/DEP/ONLINE) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONSITE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN SCD CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT
- CONTROL PLAN. 3.THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- 4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- 5.A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE
- MAINTAINED ON SITE AT ALL TIMES. 6.ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL
- PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. 7.ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NJ. IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTORY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AND
- SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED. 8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A
- 1½" TO 2½" CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE, DEPENDING ON SITE CONDITIONS AND AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE INDIVIDUAL LOT ACCESS POINTS WITHIN RESIDENTIAL SUBDIVISIONS. IF THE EGRESS IS TO A COUNTY ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
- 9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
- 10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. 20. THE GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTFIED 48 HOURS PRIO TO ANY LAND IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER, OR IF THE DISTURBANCE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 3H:1V SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER INITIAL DISTURBANCE OR ROUGH GRADING
- 1. ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS. 12. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON ALL SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET THE STANDARDS.
- 13. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 4. DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED 6" TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS 31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN. NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- 15. PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDBED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WITH OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
- 16. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS. ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDBED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS, OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24" OF SOIL HAVING A PH OF 5 OR MORE.
- 7. MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONAL ROC'S ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC, OR THE COMPLETION OF WORK IN A GIVEN AREA
- 18. HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE, UPON COMPLETION OF THE SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH. AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
- 20. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.

21. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO

- THE DRAINAGE SYSTEM BECOMING OPERATIONAL. 22.ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUSIVE OF ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION
- INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDING, ALL AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INSTALLATION OF THE OUTFLOW CONTROL STRUCTURES AND DISCHARGE STORM DRAINAGE PIPING, LOW FLOW CHANNELS, CONDUIT OUTLET PROTECTION, EMERGENCY SPILLWAYS, AND LAP RING
- 23. THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.
- 24.ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
- 25.ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
- 26.NJSA 4: 24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.

#### SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO: 2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
  - 3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
  - 4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN
  - EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JESREY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER). 6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED
  - APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT. '. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE <u>NEW JERSEY STANDARDS</u> IMMEDIATELY FOLLOWING ROUGH GRADING.

ACCORDANCE WITH THE <u>NEW JERSEY</u> STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE.

IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OF

- 8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. 9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY
- L CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXIST: THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS. 11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.

  D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- 12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES. 13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- 14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL 15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMEN'
- FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM. 6. NJSA 4:24–39, <u>et seq.</u> requires that no certificate of occupancy be issued before all provisions OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT
- OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY. 17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO ENSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- 18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- 19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- 21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- 22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT BE BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- 23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 24. METHODS FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4 OR LESS. 25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDA AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS
- (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER). 26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER. 28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS OF THE PROPOSED SITE.
- 29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE 30. ALL VEGETATIVE MATERIALSHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK
- OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. 32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
- TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION 1. SITE PREPARATION
- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER OF UNDERGROUND UTILITIES.

#### 2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS.

  SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS

  ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE

  APPLIED AT A THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET

  OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE

  APPLY LIMESTONE AT A RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE

  IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS

  TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES

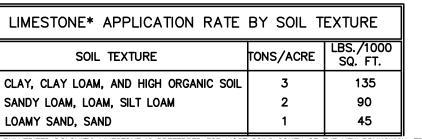
  AND LEGUMES.
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE.
- D. SOILS HIGH ON SULFIDES OR HAVING A pH OF 4 OR LESS REFER TO STANDARD FOR. FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.
- A. SEE TEMPORARY SEED MIXTURE FOR SPECIES AND APPLICATION RATES.
- B. APPLY SEED UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDROSEEDER TANK WITH SEED. SEED SHALL BE INCORPORATED INTO THE SOIL BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COURSE TEXTURED
- C. AFTER SEEDING, FIRMING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE.
- MULCHING IS REQUIRED ON ALL SEEDING.
- . STRAW OR HAY, SHOULD BE UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCHBINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
- SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 90
- MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS. 1. PEG AND TWINE— DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISSCROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- MULCH NETTING— STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- S. <u>CRIMPER(MULCH ANCHORING TOOL</u>)— A TRACTOR—DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- <u>LIQUID MULCH BINDERS</u>— ORGANIC AND VEGETABLE BINDERS NATURALLY OCCURRING, POWDER BASED HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM A MEMBRANED NETWORKS OF

D. WOOD—FIBER OR PAPER—FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE

- TEMPORARY SEEDING MIXTURE
- THIS SEEDING MIXTURE IS COMPOSED OF A SINGLE SPECIES WHICH GERMINATES QUICKLY IN ORDER TO REDUCE SOIL EROSION UNTIL A PERMANENT VEGETATIVE COVER CAN BE COVER ESTABLISHED. A MIXTURE OF EQUAL QUALITY MAY BE SUBSTITUTED IF APPROVED BY OUR OFFICE.
- RECOMMENDED SEEDING PERIODS ARE FEBRUARY 15-MAY 1 AND AUGUST 15-OCTOBER 15. SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE
- PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION
- 1. SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.

- 2. SEEDBED PREPARATION A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUND PER 1,000 SQUARE FEET
- OF 10-10-10 OF EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED. APPLY ON-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ON-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED
- C. HIGH ACID PRODUCTIN SOILS: SOILS HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDI SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION.
- 3. SEEDING A. GRASS SHALL BE APPLIED IN ACCORDANCE WITH TABLE ON THIS SHEET.
- B. APPLY SEED UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDROSEEDER TANK WITH SEED. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDING, SHALL BE INCORPORATED INTO THE SOIL. TO A DEPTH OF 1/4 TO 1/2 INCH. BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COURSE TEXTURED SOIL.
- C. AFTER SEEDING, FIRMING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. 4. MULCHING
- MULCHING IS REQUIRED ON ALL SEEDING.
- A. STRAW OR HAY: UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH—BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER—BLOWERS MUST NOT GRIND THE MATERIAL.
- B. <u>APPLICATION:</u> SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND—SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90
- C. <u>ANCHORING SHOUL</u>D BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
- 1. PEG AND TWINE— DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS—CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS
- 2. <u>MULCH NETTING</u>— STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER(MULCH ANCHORING TOOL)— A TRACTOR—DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED. 4. LIQUID MULCH BINDERS MAY BE USED.
- D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. 5. IRRIGATION
- A. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- 6. TOP DRESSING 3
- A. SEEDING WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED. B. FALL SEEDING WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.
- C. MIXTURES DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOPDRESSING. \* IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP OF TOP DRESSING IS NOT
- PERMANENT SEEDING MIXTURE
- THIS SEEDING MIXTURE SHALL BE USED FOR PERMANENT VEGETATIVE COVER. THE SEED MIXTURE SHALL NUMBER 15 BASED UPON TABLE 4-3 OF THE SOIL EROSION AND SEDIMENT CONTROL MANUAL.
  - KENTUCKY BLUEGRASS (BLEND)
- 1 LB/1000 SF PERENNIAL RYEGRASS ECOMMENDED SEEDING PERIODS ARE FEBRUARY 15-MAY 1 AND AUGUST 15-OCTOBER 15
- SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE
- PERMANENT STABALIZATION WITH SOD
- METHODS AND MATERIALS A. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
- B. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COURSE WEEDY GRASSES. C. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH,
- AT TIME OF CUTTING (EXCLUDES TOP GROWTH). D. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP.
- BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE. E. FOR DROUGHTY SITES, A SOD OF TURF-TYPE TALL FESCUE AND BLUEGRASS IS PREFERRED OVER STRAIGHT BLUEGRASS SOD.
- F. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS OR LESS DURING SUMMER MONTHS.
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.. B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS DIVERSION DITCHES, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS.
- 2. SOIL PREPARATION
  - A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING IDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. TABLE 6-1 IS A GENERAL GUIDELINE FOR



- . WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.

- 3. SOD PLACEMENT A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION. C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS S SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS
- WHICH WOULD CAUSE DRYING OF ROOTS. D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES BIODEGRADABLE PLASTIC SPIKES, OR SPLIT SHINGLES (8 TO 10 INCES LONG BY 3/4 INCH WIDE).
- E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS.
- IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 1 INCH. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
- OPDRESSING SINCE SLOW RELEASE NITORGEN FERTILIZER (WATER INSOLUBLE) IS PRESCRIBED IN SECTION "SEEDBED PREPARATION" IN THIS STANDARD, A FOLLOW-UP TOPDRESSING IS NOT MANDATORY, EXCEPT WHERE GROSS NITROGEN DEFICIENCY EXISTS TO THE EXTENT THAT TURF FAILURE MAY DEVELOP, TOPDRESSING SHALL THEN BE APPLIED. TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER
- TOP SOILING TOPSOIL SHOULD BE USED WHERE SOILS ARE DISTURBED AND BE REGENERATED.,

2. STRIPPING AND STOCKPILING

MIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.

- A. TOPSOIL SHOULD BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPOSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
- A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND/OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING B. STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA
- C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL CLEAN STONE BEFORE TESTS TO BRING THE SOIL pH TO 6.5. D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR
- E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE. F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH TEMPORARY SEEDING STANDARDS
- PREVIOUSLY DESCRIBED HEREIN. SITE PREPARATION
- . Grade at the onset of the optimal seeding period so as to minimize the duration an AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY ESTABLISH VEGETATED COVER.
- B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENTS. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5

STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS.

- AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES. D. PRIOR TO TOPOSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH STANDARD FOR LAND E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS. GRADE STABILIZATION
- 4. APPLYING TOPSOIL A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; I.E., LESS THAN FIELD CAPACITY.
- B. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES, IS REQUIRED. SPECIAL NOTES
- 1. TEMPORARY STABILIZATION SOILS EXPOSED FOR PERIODS OF TWO TO SIX MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS SHALL RECEIVE TEMPORARY
- STABILIZATION ACCORDING TO THE TEMPORARY VEGETATIVE COVER SPECIFICATIONS. 2. PERMANENT STABILIZATION - ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED SHOULD BE SEEDED WITHIN 10 DAYS OF FINAL GRADING, ACCORDING TO THE PERMANENT SEEDING SPECIFICATIONS.

3 WEEKS

2 WEEKS

12 WEEKS

2 WEEKS

2 WEEKS

1 WEEK

2 EACH DUMP

INSTALLATION DETAIL

STRAPS

₽

BAG DETAIL

DUMP STRAF

**INLET SEDIMENT** 

" REBAR FOR BA

REMOVAL FROM INLE

TOTAL AREA OF DISTURBANCE: 0.411 ACRES SEQUENCE OF CONSTRUCTION TIME DURATION

COMPLETE BUILDING CONSTRUCTION AND

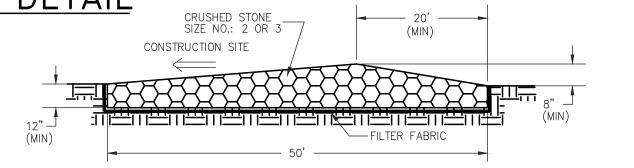
INSTALL CONSTRUCTION ENTRANCE, SILT 1 WEEK FENCE AND INLET PROTECTION. 2. STRIP TOPSOIL BEGIN SITE DEMOLITION OF FXISTING FFATURES. COMPLETE BULK EARTHWORK AND

FINALIZE DEMOLITION.

- SITE IMPROVEMENTS THAT CONSIST OF STORMWATER MANAGEMENT PIPING, CONCRETE CURB AND BASIN. BASE PAVE PARKING LOT, PERFORM
- SUBSOIL TESTING/RESTORATION AND INSTALL TOPSOIL AND LANDSCAPING. FINALIZE SITE IMPROVEMENTS, FINAL
- PAVE PARKING LOT AND STABILIZE ALL BARE SOIL AREAS.
- REMOVE SOIL EROSION CONTROLS AND
- ACCUMULATED SILT ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.
- SILT FENCE PERIMETER -STOCK PILE
  - CLEARANCE (TYP.)



NOTE: SILT SOCK MAY BE SUPPLEMENTED IN LIEU OF SILT



#### STABILIZED CONSTRUCTION ENTRANCE (SEE PLAN FOR WIDTH) N.T.S.

- DRAWSTRING RUNNING THROUGH FABRIC ALOI TOP OF FENCE - FILTER FABRIC 

NOTE: SILT SOCK MAY BE SUPPLEMENTED IN LIEU OF SILT

2'-0" (MIN)

WATER LEVEL NDPIPE WRAPPED IN

-36" DIAMETER

METAL OR PVC PIPE

OR PLATE

NOTE: PERFORATE 60" CMP

ON CENTER

PLAN VIEW

PIT DIMENSIONS ARE VARIABLE WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER

EXPANSION RESTRAINT

FLAT WASHERS)

(S1#4:"NYLON ROPE. 2

DEWATERING DETAIL

PORTABLE SEDIMENT TANK

WITH 1" HOLES AT 6"

OUTFLOW

\_\_\_\_1/2" WIRE MESH

1" REBAR FOR BAG

REMOVAL FROM INLET

PROTECTION STRUCTURI

" HARDWARE CLOTH

**ELEVATION** 

1 1/2" □ MINIMUM POST

(SPACING 8'-0" C. TO C.)

SILT ACCUMULATION -

FLOW

CROSS SECTION

SUMP PIT

FILTER FABRIC, TYPAR STYLE 3341.0.A.E.

WITH WIRE AT THREE FOOT INTERVALS

TO BE TIED TO FENCE AT TOP

DIG 6" WIDE & DEEP TRENCH

THE TOP OF THE STANDPIPE\_\_\_\_\_

SIDE SLOPE-

INFLOW ---

SHOULD EXTEND AT LEAST 12

PIT OR ABOVE STA

TO 18" ABOVE THE TOP OF TH

BURY BOTTOM 1'-0" OF FABRIC.

*76 ARGYLE AVENUE* BLACKWOOD, N.J. 08012 PHONE: 1-856-404-0540 <u>APPLICANT/OWNER</u> URBAN DECO, LLC.

21 TERRIER PLACE

KENDALL PARK, NJ 08824

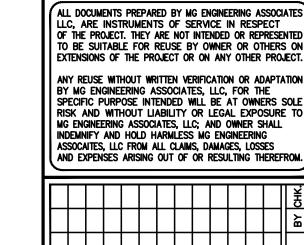
**ENGINEER:** 

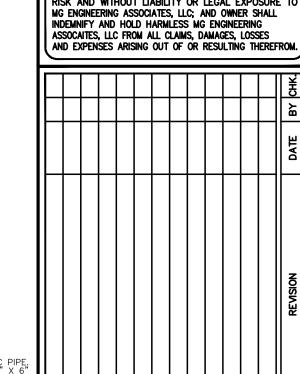
MICHAEL GALANTE PE





**NOT FOR** CONSTRUCTION

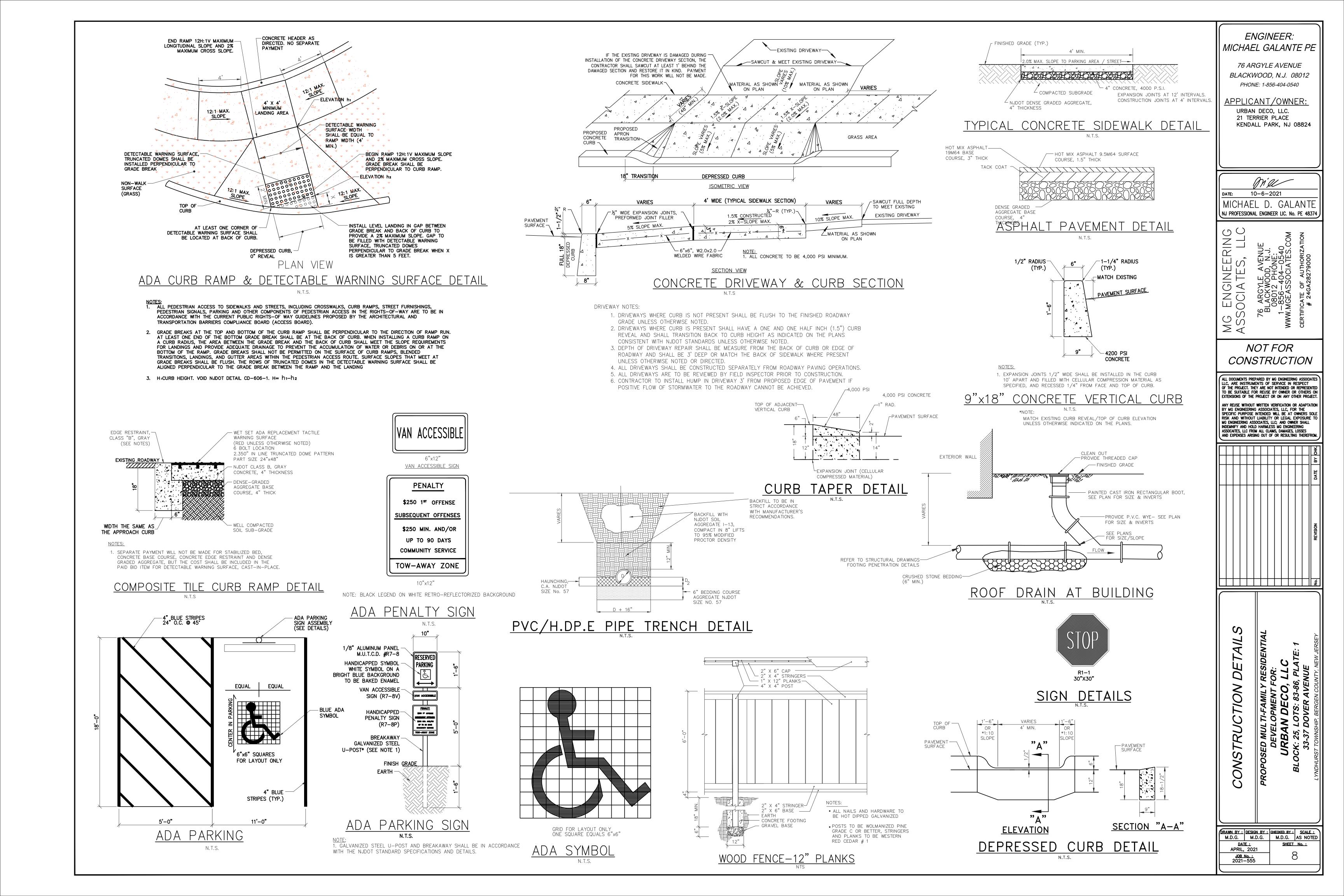


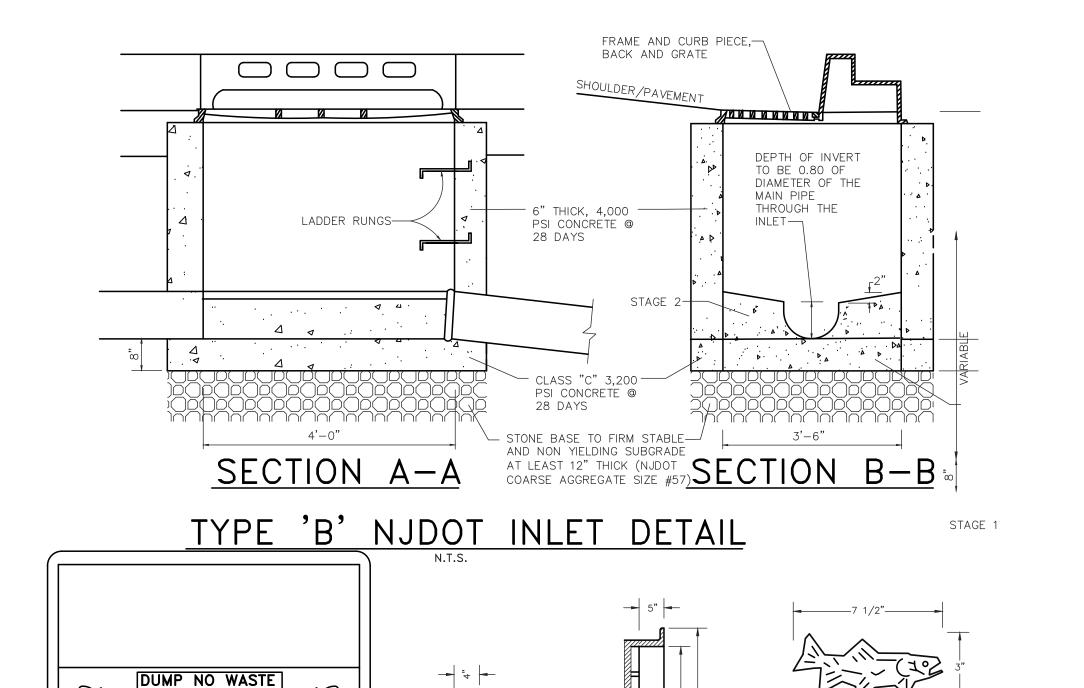


THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12" TO 24" DIAMETER CORRUGATED OR PVC PIPI THEN WRAPPING WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE PERFORATIONS SHALL BE 1/2" X 6 SLITS OR 1" DIAMETER HOLES. A BASE OF FILTER MATERIAL CONSISTING OF CLEAN GRAVEL OR ASTM C33 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACKFILLED WITH THE SAME FILTER MATERIAL. THE STANDPIPE SHOULD EXTEND 12" TO 18" ABOVE THE LIP OF THE PIT OR THE RISER CREST ELEVATION (
DEWATERING ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 3" MINIMUM ABOVE THE ANTICIPATED STAND
WATER ELEVATION 

> $\lesssim$ DDI ळ S ळ

 $\mathcal{O}$ DRAWN BY : DESIGN BY : CHECKED BY : SCALE : M.D.G. M.D.G. M.D.G. AS NOTED SHEET No.: APRIL, 2021 <u>JOB No. :</u> 2021-555





1. MATERIAL: GRAY CAST IRON ASTM A48-83, CLASS 30B.

4. GRATE TO BE BRIDGESTATE FOUNDRY CORPORATION #2618

2. AASHTO HS20-44 HIGHWAY LOADING.

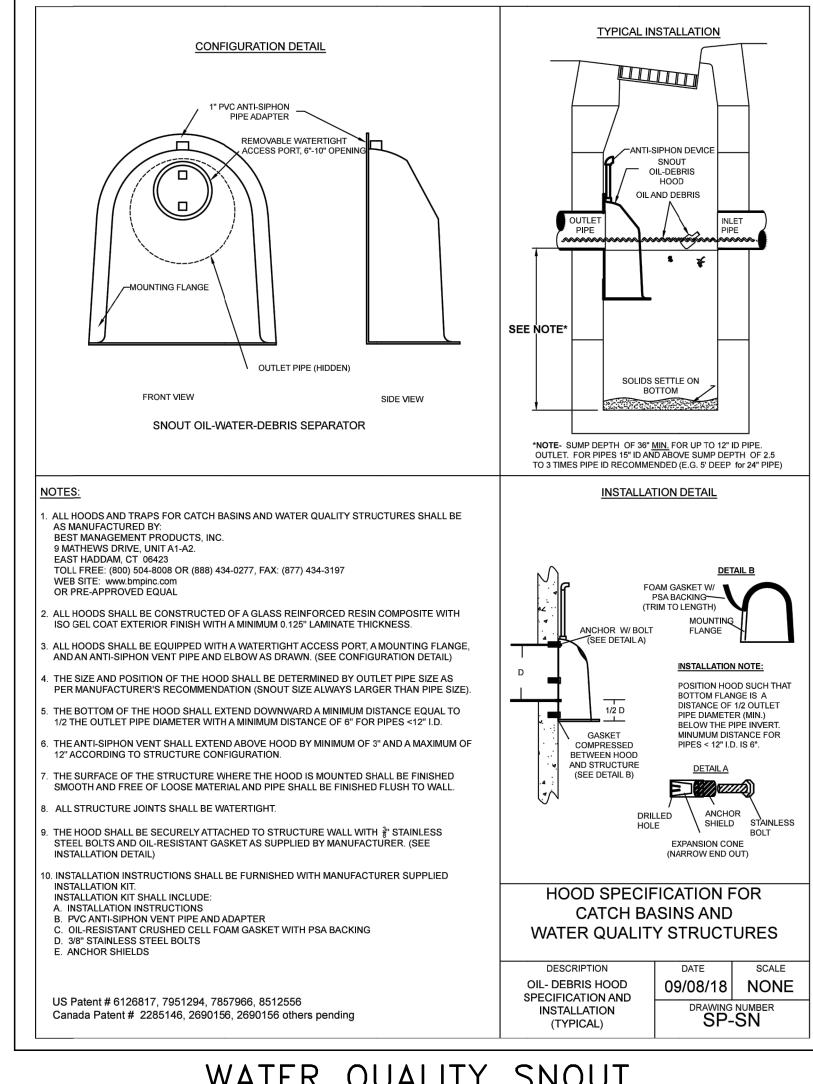
3. SUPPLIED WITHOUT SURFACE COATING.

TYPE "B" BICYCLE SAFE GRATE & TYPE "N-ECO" CURB PIECE

#### \_ TOP OF STONE: 101.00 2' COVER MIN WRAP TRENCH WITH MIRAFI-140N - 12' WIDE X 4' DEEP X 100' FILTER FABRIC. OR TRENCH APPROVED EQUAL " HDPE PIPE (INV. 98.00) PROPOSED 3" CLEAN BOT OF STONE: 97.00 WASHED STONE (TYP.) NOTES:

- 1. PROPOSED ₹" STONE MATERIAL SHALL BE INSTALLED AS PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- 2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- 3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- 4. FILTER FABRIC: PROPOSED FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE O A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- 6. <u>BEDDING:</u> PROPOSED STONE BEDDING AND BE  $\frac{3}{4}$ " CLEAN WASHED STONE.
- 7. <u>Initial Backfill:</u> <sup>3</sup>/<sub>4</sub>" Clean stone pipe bedding shall extend no less than 6" above crown of pipe. The contractor shall provide documentation for material specification to engineer. Material SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- 8. MINIMUM COVER: MINIMUM COVER OVER ALL RETNETION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID

# UNDERGROUND INFILTRATION TRENCH DETAIL



### WATER QUALITY SNOUT

N.T.S.

#### MAINTENANCE NOTES

1. MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION AFTER THE SITE HAS BEEN STABILIZED. 2. MEASUREMENTS SHOULD BE TAKEN AFTER EACH RAIN EVENT OF 0.5 INCHES OR MORE. OR MONTHLY. AS

DETERMINED BY LOCAL WEATHER CONDITIONS. 3. SEDIMENT DEPTH SHALL BE CHECKED DURING EACH INSPECTION

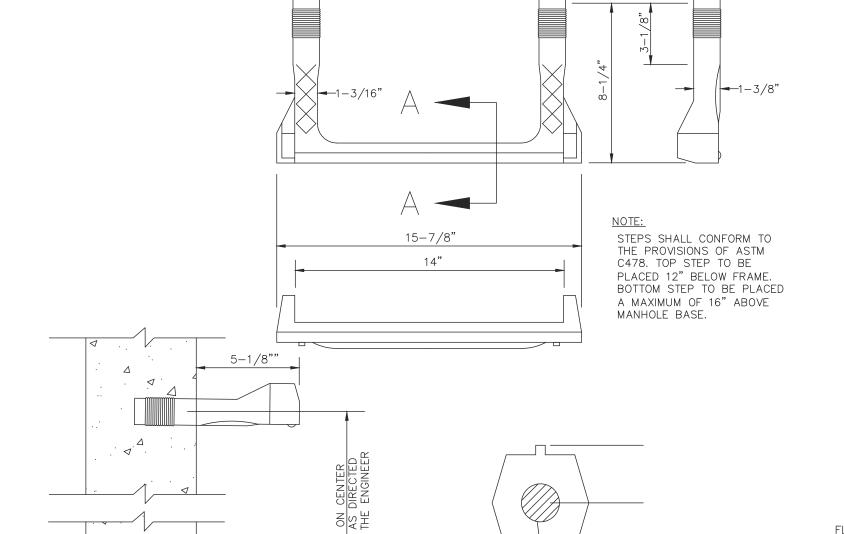
4. SCHEDULE CLEANING BASED UPON SOLIDS COLLECTED IN THE INLET SUMP. STRUCTURE SHALL BE CLEANED WHEN SUMP IS HALF FULL.

5. CLEAN STRUCTURE IF AN ACCIDENT OR SPILL OCCURS.

6. ALL WASTE SHALL BE COLLECTED AND HANDLED AT AN APPROVED DISPOSAL FACILITY.

7. MAINTENANCE OF THE SNOUT HOOD SHALL BE CONDUCTED DURING AN ANNUAL INSPECTION OF THE ANTI-SIPHON VENT, OR A GENTLE RODDING WITH A FLEXIBLE WIRE. OPENING AND CLOSING THE HATCH ONCE A YEAR IS

RECOMMENDED.



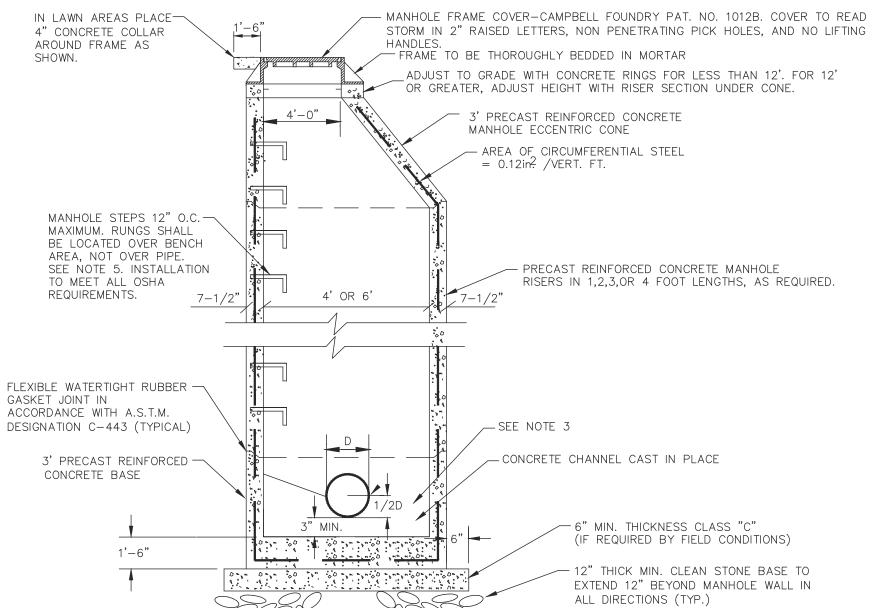
1/2" GRADE 60 STEEL

SECTION A-A

REINFORCEMENT

DRAINS TO RIVER

COPOLYMER POLYPROPYLENE PLASTIC STEEL REINFORCED MANHOLE STEP



1. ALL MANHOLES SHALL BE CONSTRUCTED WATERTIGHT.

3D BROOK TROUT DETAIL

NAME PLATE DETAIL

DRAINS TO BAY

DRAINS TO RIVER

DRAINS TO LAKE

DRAINS TO OCEAN

DRAINS TO WATERWAYS

NAME PLATE OPTIONS

NJ TYPE B

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLOATATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.

> STANDARD 4' OR 6' DIAMETER PRECAST MANHOLE

1. PRECAST MANHOLE IN ACCORDANCE WITH A.S.T.M. DESIGNATION C-478, MINIMUM COMPRESSIVE STRENGTH 4000 P.S.I. (TYP). MANHOLE TO BE MANUFACTURED BY ATLANTIC CONCRETE OR

APPROVED EQUAL.

2. ALL MANHOLES NOT LOCATED IN CROWN OF ROAD SHALL BE CONSTRUCTED WATERTIGHT WITHOUT THE USE OF A RUBBER GASKET. WATER TIGHTNESS MAY BE ACHIEVED BY DISH SHAPED INSERTS, WATERTIGHT CASTING, OR APPROVED EQUAL. DISH SHAPED WATERTIGHT INSERT SHALL BE SUPPLIED, TWO PER MANHOLE

3. SMOOTH CONCRETE CHANNEL WITH DEPTH EQUAL TO 0.80 TIMES THE DIA. OF THE MAIN SEWER FOR SIZES 8" TO 15' AND 0.50 TIMES THE DIA. FOR SIZES 16" AND ABOVE. (USE CLASS C CONCRETE.)

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLOATATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.

5. POLYPROPYLENE RUNGS WITH GRADE 60 STEEL REINFORCEMENT AND TEETH AND SIDE CLEATS AS MANUFACTURED BY MA INDUSTRIES. STEEL RUNGS NOT ALLOWED. FOR MANHOLES GREATER THAN 15'-0" DEEP, APPLICANT SHALL CONTACT LTMUA FOR SPECIFIC MANHOLE REQUIREMENTS. ALL OSHA REQUIREMENTS MUST BE MET.

6. ANY MANHOLE REQUIRING LINING SHALL HAVE MANHOLE RUNGS REMOVED AND HAVE A COMPOSITE LADDER INSTALLED.

7. PROVIDE WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM AS MANUFACTURED BY CANUSA-CPS AROUND FRAME AND GRADE RINGS FOR ALL MANHOLES AND AROUND ALL RISER JOINTS. INSTALLATION SHALL BE PROVIDED IN ACCORDANCE WITH ALL OF MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

8. MANHOLE FRAME SHALL BE LAID IN 1-INCH OF MORTAR AND HAVE 1-INCH MORTAR AROUND THE

10-6-2021 MICHAEL D. GALANTI NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

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