

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR: URBAN DECO, LLC

BLOCK: 25, LOTS: 83-86, PLATE: 1 33-37 DOVER AVENUE EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

ENGINEER:
MICHAEL GALANTE PE

76 ARGYLE AVENUE
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PHONE: 1-856-404-0540

APPLICANT/OWNER:
URBAN DECO, LLC.
21 TERRIER PLACE
KENDALL PARK, NJ 08824

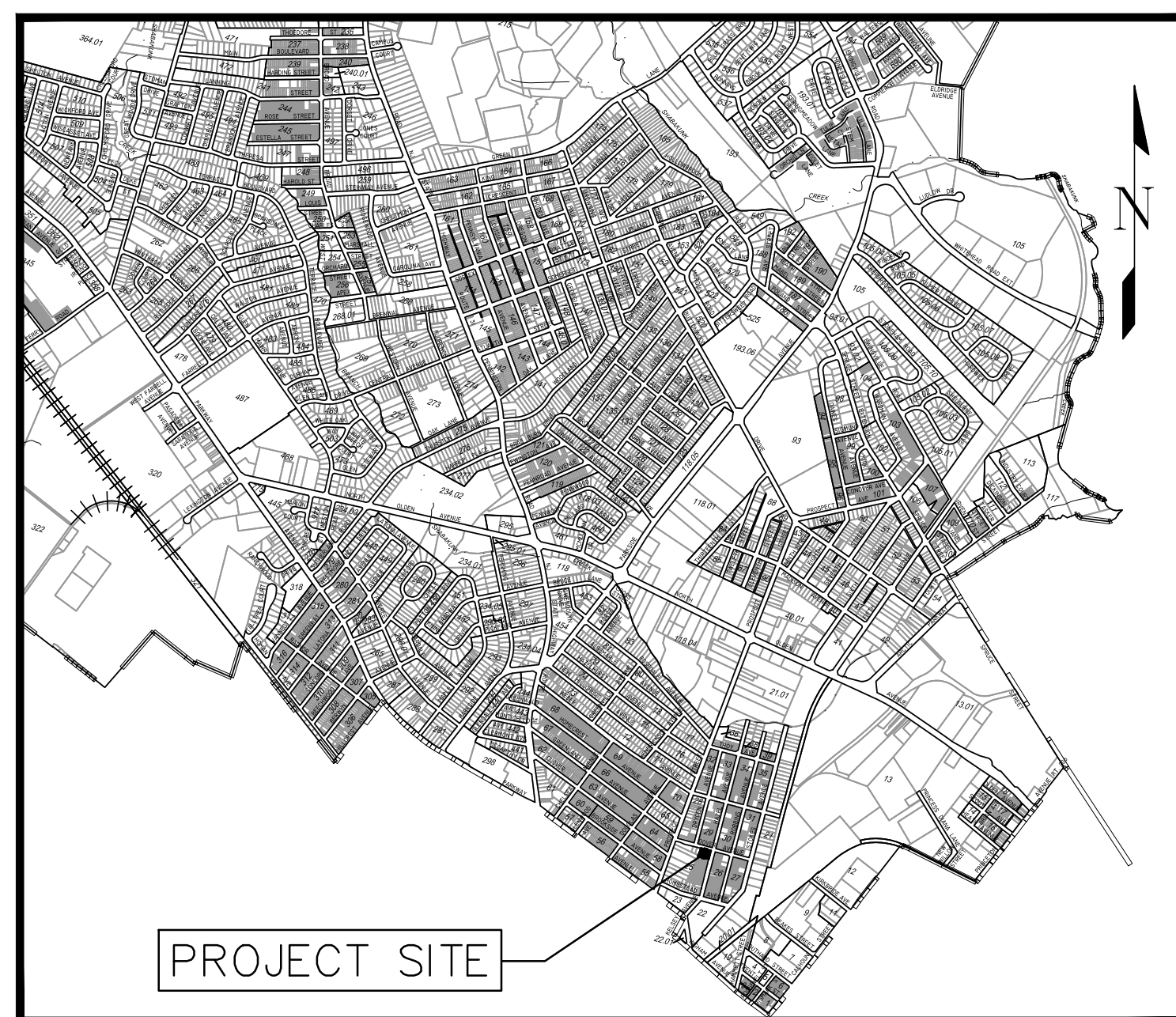

DATE: 10-6-2021
MICHAEL D. GALANTE
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

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246A28279000

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CONSTRUCTION**

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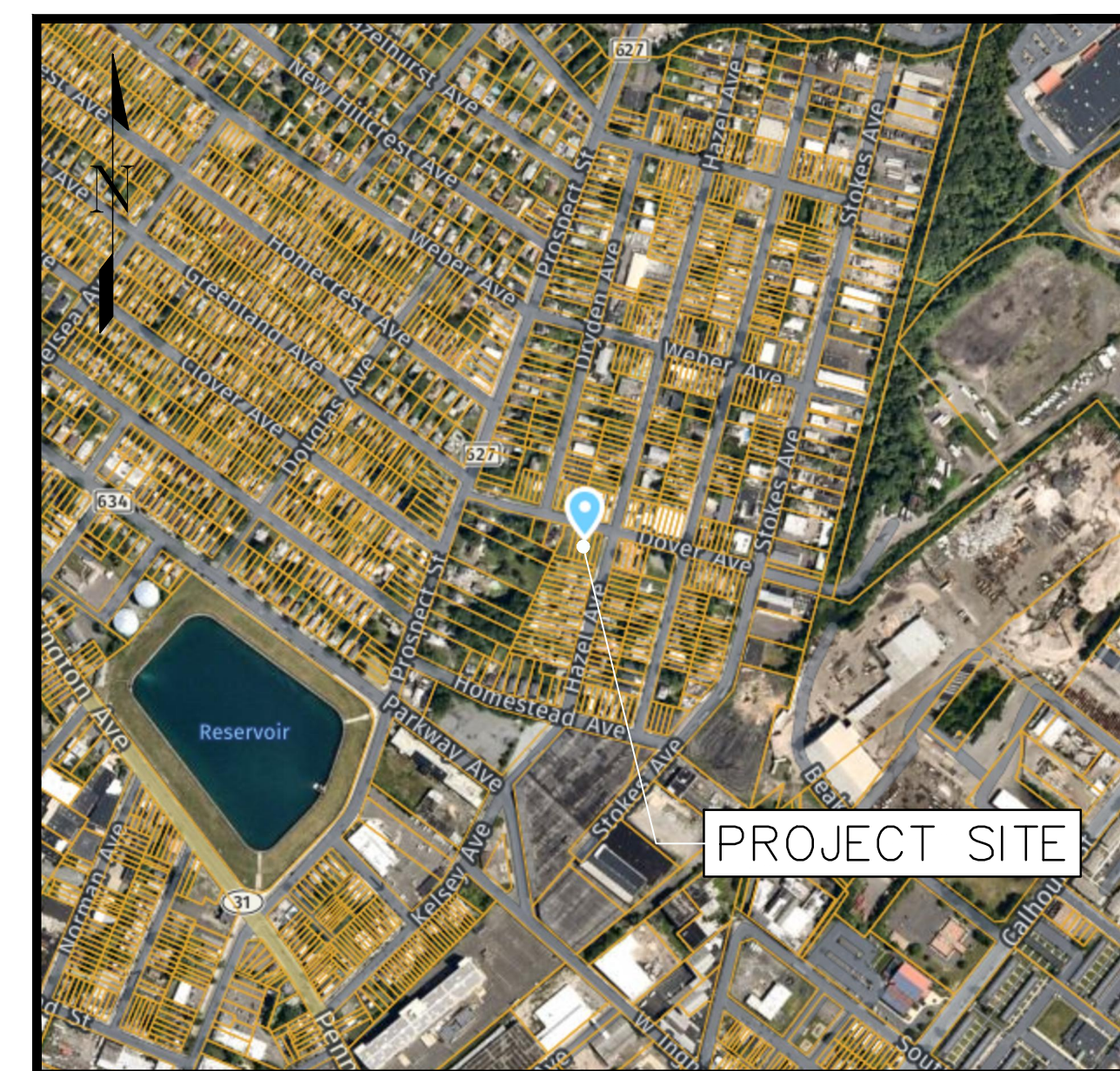
REVISION	DATE	BY



KEY MAP
SCALE: 1"=2000'



TAX MAP
SCALE: 1" = 100'



AERIAL MAP
SCALE: N.T.S.

**PREPARED BY
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I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EWING WHICH IS THE PROPER AUTHORITY TO APPROVE THIS PLAN.

PLANNING BOARD CHAIRMAN _____ DATE _____

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EWING WHICH IS THE PROPER AUTHORITY TO APPROVE THIS PLAN.

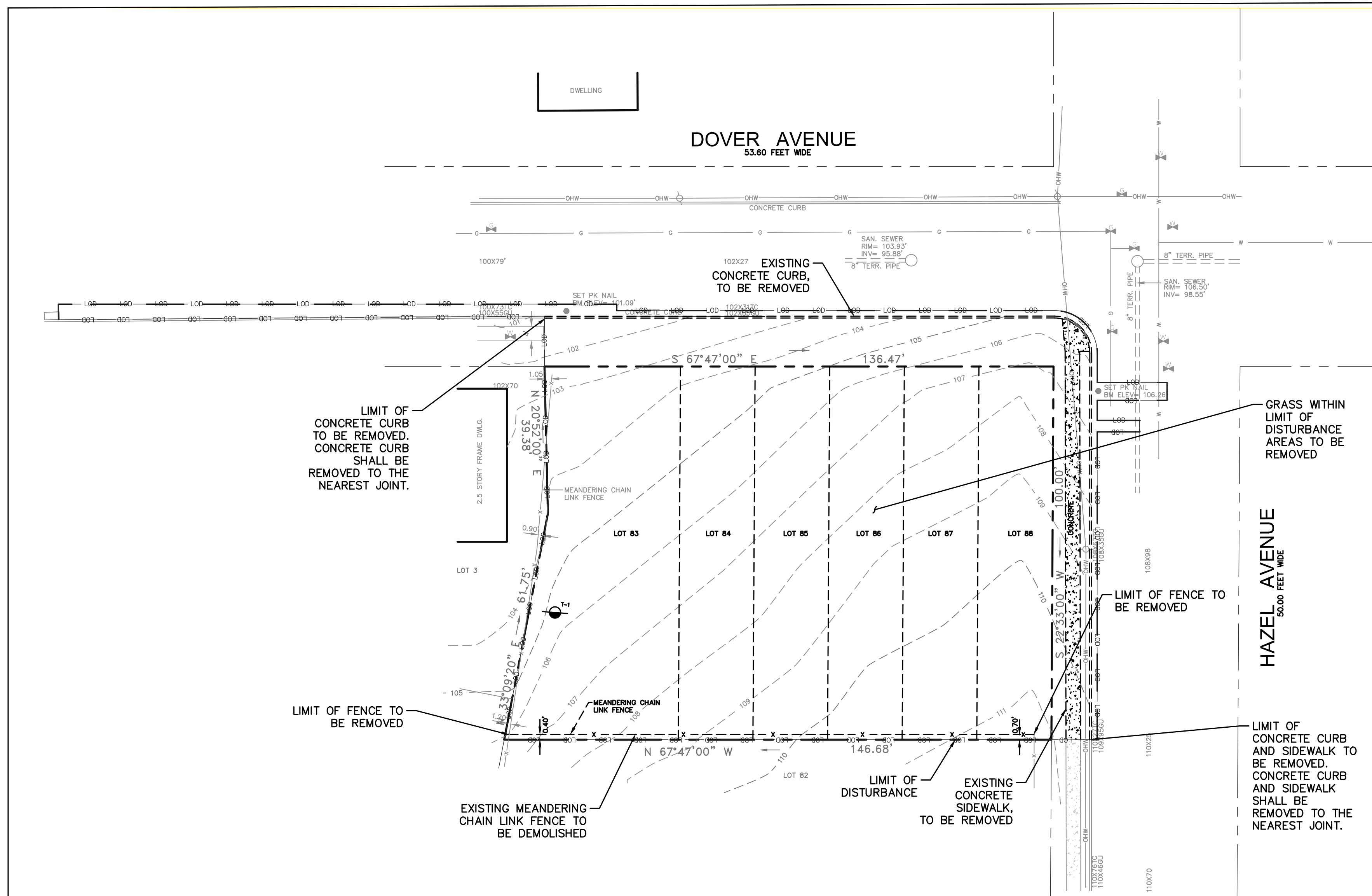
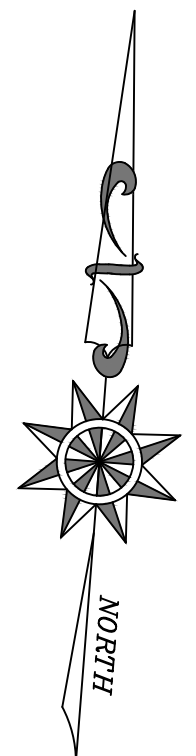
PLANNING BOARD SECRETARY _____ DATE _____

COVER SHEET

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
URBAN DECO, LLC
BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE

LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

DRAWN BY: _____	DESIGN BY: _____	CHECKED BY: _____	SCALE: _____
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE: _____	SHEET No. _____		
APRIL, 2021	1		
JOB No.: 2021-555			



PLAN
SCALE: 1" = 20'

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ASPHALT PAVEMENT, CONCRETE CURB, SITE FEATURES, AND VEGETATION FOR THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS WITHIN THE PROPERTY BOUNDARIES AS INDICATED ON THE PLANS. ALL FEATURES WITHIN THE PROPERTY BOUNDARIES SHALL BE REMOVED UNLESS OTHERWISE INDICATED. ALL DISCREPANCIES SHALL BE COORDINATED WITH THE ENGINEER, PRIOR TO THE START OF CONSTRUCTION.
- WITHIN THE TOWNSHIP R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONCRETE CURB AS WELL AS FEATURES INDICATED ON THE PLANS. THE CONTRACTOR SHALL REMOVE CONCRETE CURB TO THE NEAREST JOINT.
- THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE SITE AND OFFSITE AREAS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AUTHORITIES PRIOR TO UNDERGROUND EXCAVATIONS AND CALL IN A NJ-ONE CALL PRIOR TO START OF CONSTRUCTION AND DURING THE DURATION OF CONSTRUCTION AS NECESSARY TO LAWFULLY EXCAVATE.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH LOCAL UTILITY COMPANIES PRIOR TO REMOVAL OF ANY EXISTING ONSITE UTILITIES. ALL EXISTING UTILITIES MUST BE ABANDONED OR REMOVED IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING AND COMPACTING ALL TRENCHES. NO TRENCHES SHALL BE LEFT OPEN AFTER COMPLETION OF WORK FOR THE DAY. TRENCH COMPACTATION SHALL BE COMPLETED IN 8 INCH LIFTS.
- ALL WORK SHALL BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER, COUNTY AND TOWNSHIP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- MG ENGINEERING ASSOCIATES, LLC MAKES NO CLAIM AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE DEPTH OF THE EXISTING UTILITIES; IN THE EVENT OF A UTILITY CONFLICT, THE ENGINEER SHALL BE NOTIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE EWING LAWRENCE SEWER AUTHORITY FOR ANY WORK ASSOCIATED WITH THE CONNECTION OF THE SEWER SERVICES TO THE PROPOSED STRUCTURE. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE WITH TRENTON WATER UTILITY FOR PROPOSED WATER SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH PSE&G FOR GAS AND ELECTRIC SERVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING ROAD OPENING, CONCRETE CURB, AND BUILDING PERMITS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR RESETTLE VALVE BOXES, MANHOLES, ETC. NECESSARY FOR THE CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC. THE TRAFFIC CONTROL DEVICES AND TRAFFIC CONTROL LAYOUT SHALL CONFORM TO NJDOT AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISCONNECTING ELECTRICAL UTILITIES TO ANY ONSITE FEATURES. CONTRACTOR SHALL BARE ALL COSTS FOR ELECTRICAL UTILITIES REMOVAL. ALL ELECTRICAL DISCONNECTIONS SHALL BE COMPLETED BY A LICENSED ELECTRICIAN.
- CONTRACTOR SHALL HIRE AN NJ LICENSED LAND SURVEYOR TO STAKE OUT PROPOSED IMPROVEMENTS AS WELL AS LIMITS OF DISTURBANCE.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING TEST PITS AS NECESSARY TO DETERMINE LOCATION AND DEPTH OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ONSITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OF OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT A PROPER FACILITY.
- CONTRACTOR SHALL PROVIDE CURB STAKEOUT, STRUCTURE STAKEOUT, AND SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF CONCRETE CURB. ALL CURB INSTALLED WITHOUT REVIEW OF STAKEOUT IS AT CONTRACTORS OWN RISK.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS ANY PROPOSED UTILITY CONNECTIONS AS PART OF THE PROPOSED CONSTRUCTION.
- WHEN REMOVING EXISTING STRUCTURES, CONTRACTOR SHALL ABIDE BY ALL OSHA REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PROPOSED STORMWATER AND SEWER STRUCTURES FOR REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PERFORM TEST PITS AS NECESSARY TO LOCATE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

ENGINEER:
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NO.	REVISION	DATE	BY

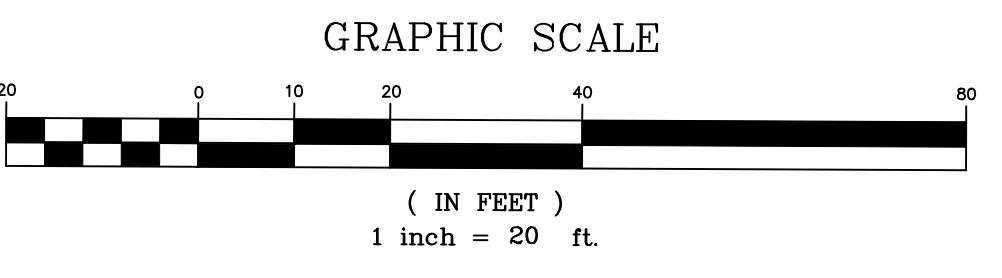
KEY
--- SAWCUT LINE



- NOTES:
- BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - VERTICAL DATUM IS REFERENCED TO NAVD 1988.
 - THIS SURVEY IS REFERENCED TO A FORMER SURVEY BY DONALD P. SWEENEY, P.L.S., DATED 2-2-2018 AND REVISED TO 2-7-2018.
 - 100X00 INDICATES TYPICAL SPOT ELEV..
 - THE EXISTANCE AND/OR LOCATION OF UNDERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.
 - CONTAINING 13,899 S.F. OR 0.32 ACRES±



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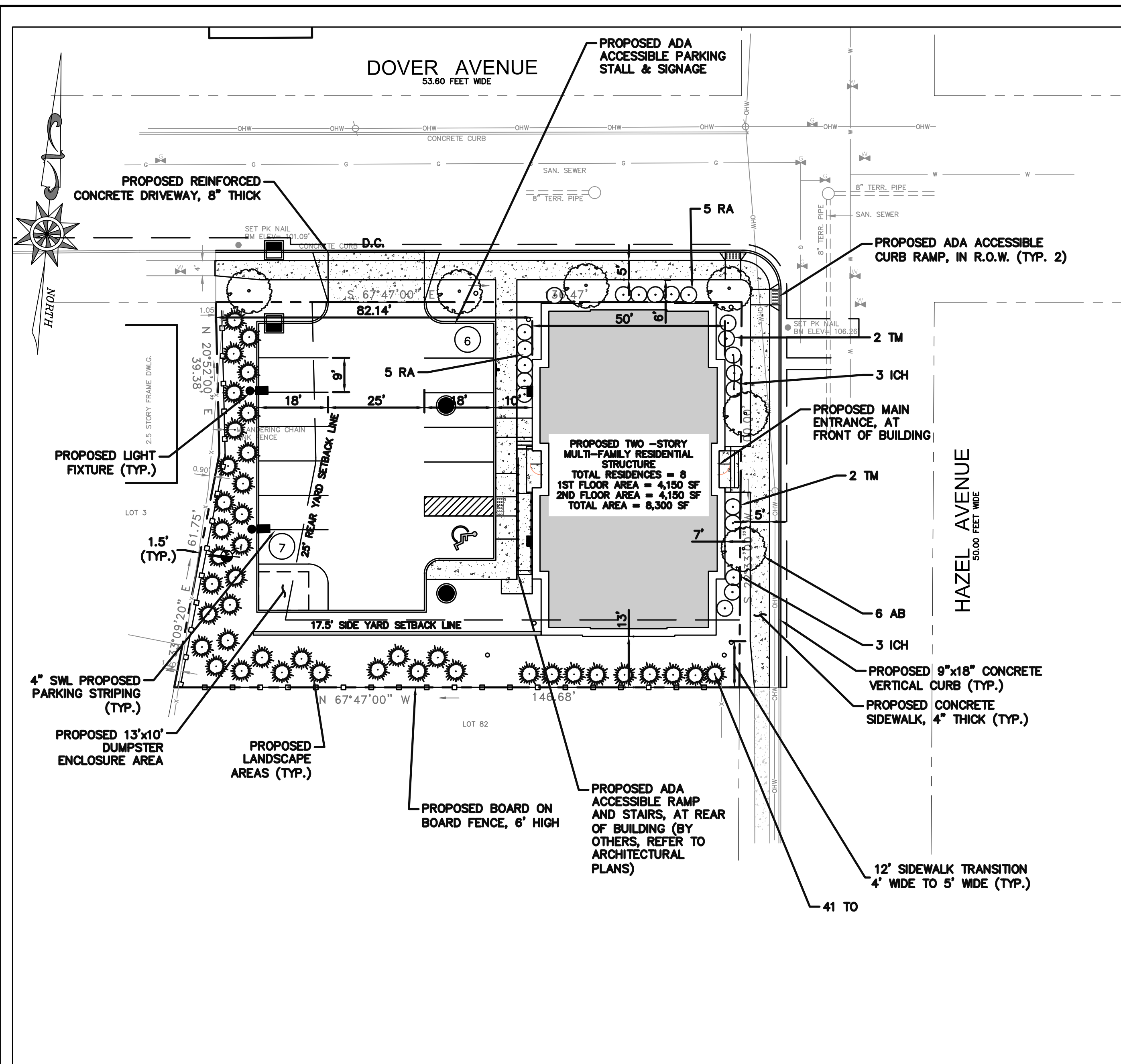


DEMOLITION PLAN

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
URBAN DECO, LLC
BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE

LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

DRAWN BY: M.D.G.	DESIGN BY: M.D.G.	CHECKED BY: M.D.G.	SCALE: AS NOTED
DATE: APRIL, 2021	SHEET No. 1		2
JOB No. 2021-555			



PLAN
SCALE: 1" = 20'

ZONING NOTES:

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCED INCLUDING: PLAN OF SURVEY, JTS ENGINEERS AND LAND SURVEYORS, INC. BOUNDARY AND TOPOGRAPHY PLAN SOUTHWESTERLY LINE OF DOVER AVENUE DATED: 3-6-2021 PROJECT NO. 21-073
 - OWNER: URBAN DECO, LLC
21 TERRIER PLACE
KENDALL PARK, NJ 08824
 - APPLICANT: URBAN DECO, LLC
21 TERRIER PLACE
KENDALL PARK, NJ 08824
 - PROPERTY DATA: 33-37 DOVER AVENUE
TOWNSHIP OF EWING, MERCER COUNTY, NJ
PLATE 1, BLOCK 25, LOT 83-86
 - ZONING: OARA (OLDEN AVENUE REDEVELOPMENT AREA)
S-7B SUBAREA
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL - PERMITTED USE

6. BULK TABLE

ZONE REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	22,000 SF	13,898.56 SF (V)
MIN. LOT WIDTH	80'	100'
MIN. FRONT YARD	5'	0'
MIN. SIDE YARD	17.5' **	13'
MIN. REAR YARD	25'	84.4'
MAX. BUILDING HEIGHT	4-1/2 STORIES/45'	2 STORIES/35'
MAX. BUILDING COVERAGE	30%	29.85%
MAX. IMPERVIOUS COVERAGE	70%	68.32%
MAX. FAR	1.0	0.60

* 0-15' STOOPS ENCOURAGED
** 15' ADJACENT TO LIKE STRUCTURES. 1/2 THE HEIGHT OF STRUCTURE WHEN ADJACENT TO ALL OTHER RESIDENTIAL TYPES

7. ACCESSORY STRUCTURE REQUIREMENTS

- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE SIDE LOT LINE.
- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE REAR LOT LINE.
- ACCESSORY BUILDINGS SHALL BE ONE STORY AND A MAXIMUM OF 15' HIGH.

8. ADDITIONAL REQUIREMENTS

- SEPARATION FROM PUBLIC STREETS. ALONG EACH STREET LINE, AS DEFINED BOUNDING THE DISTRICT A SEVEN-FOOT STRIP SHALL BE PROVIDED, SUITABLY LANDSCAPED EXCEPT FOR NECESSARY SIDEWALKS AND ACCESSWAYS.
- SCREENING OR BUFFER STRIP. ALONG EACH SIDE AND REAR PROPERTY LINE WHICH ADJOINS A RESIDENTIAL DISTRICT IN THE TOWNSHIP OR A SIMILAR DISTRICT IN AN ADJOINING MUNICIPALITY, A SCREEN OR BUFFER PLANTING STRIP SHALL BE PROVIDED CONSISTING OF MASSSED EVERGREENS AND SHRUBS OF SUCH SPECIES AND SIZE AS WILL PRODUCE AN EFFECTIVE SCREEN AT THE TIME OF PLANTING.
- ENTRANCES AND EXITS. ALL ENTRANCES AND EXITS UP A PUBLIC STREET SHALL NOT BE LOCATED WITHIN 50 FEET OF ANY STREET INTERSECTION, THE DISTANCE IS TO BE MEASURED FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES AT THE CORNER AFFECTED AND THE CLOSEST POINT OF SUCH PROPOSED DRIVEWAY. NO ENTRANCE OR EXIT, AT THE CURBLINE ONLY, SHALL BE CLOSER THAN FIVE FEET FROM A SIDE LOT LINE. LOADING DOCKS AND SERVICE AREAS. NO LOADING DOCK OR SERVICE AREA MAY BE ON ANY STREET FRONTAGE.
- OUTDOOR STORAGE AREAS - NO USE OR ACCESSORY USE SHALL BE CONSTRUCTED TO PERMIT THE KEEPING OF ARTICLES, EQUIPMENT, GOODS OR MATERIALS IN THE OPEN, EXPOSED TO PUBLIC VIEW, ADJACENT RESIDENCES OR A RESIDENTIAL DISTRICT. WHEN NECESSARY TO STORE OR KEEP SUCH GOODS OR MATERIALS IN THE OPEN, THE AREA SHALL BE FENCED WITH A SCREEN OR BUFFER PLANTING STRIP AND SITUATED NO CLOSER THAN 50' TO A RESIDENTIAL DISTRICT LINE.

PARKING REQUIREMENTS:

- REQUIRED PARKING STALL SIZE: 9' X 20' FOR 90' PARKING EXCEPT 9' X 18' WITH OVERHANG. 9' X 18' PROPOSED WITH 2' OVERHANG
- AT THE DISCRETION OF THE BOARD, UP TO 30% OF REQUIRED PARKING SPACES MAY BE DESIGNED FOR COMPACT CAR USE. SUCH SPACES SHALL NOT BE LESS THAN 8' WIDE NOR LESS THAN 17' DEEP. DEPTH MAY BE REDUCED TO 16' WITH 2' OVERHANG.
- INTERIOR DRIVEWAYS: 24' WIDE FOR 90' PARKING
18' WIDE FOR 60' PARKING
14' WIDE FOR 30' OR 45' PARKING
- REQUIRED PARKING STALLS (DWELLING UNITS): 1.5 SPACES REQUIRED FOR EACH DWELLING UNIT
PROPOSED PARKING STALLS = 8 DWELLING UNITS X 1.5 SPACES PER UNIT = 12 PARKING SPACES
12 SPACES REQUIRED; 13 PROPOSED

RSIS REQUIREMENTS

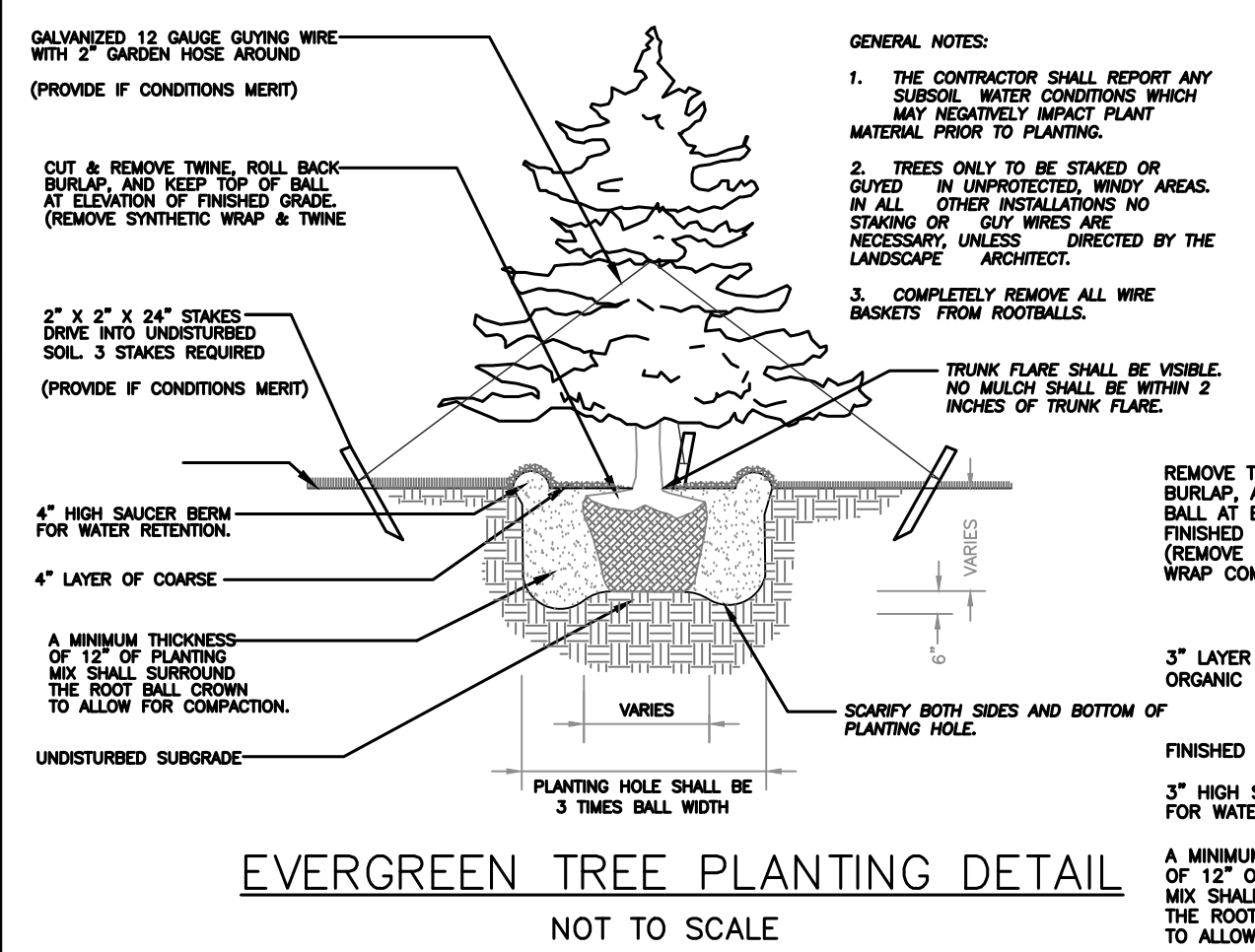
- EIGHT (8) 2 BEDROOM APARTMENTS = 2 PER UNIT = 16 SPACES REQUIRED
TOTAL PROPOSED SPACES = 13 SPACES; TOTAL REQUIRED SPACES (RSIS) = 16 SPACES (DEVIATION)

IMPERVIOUS AREA

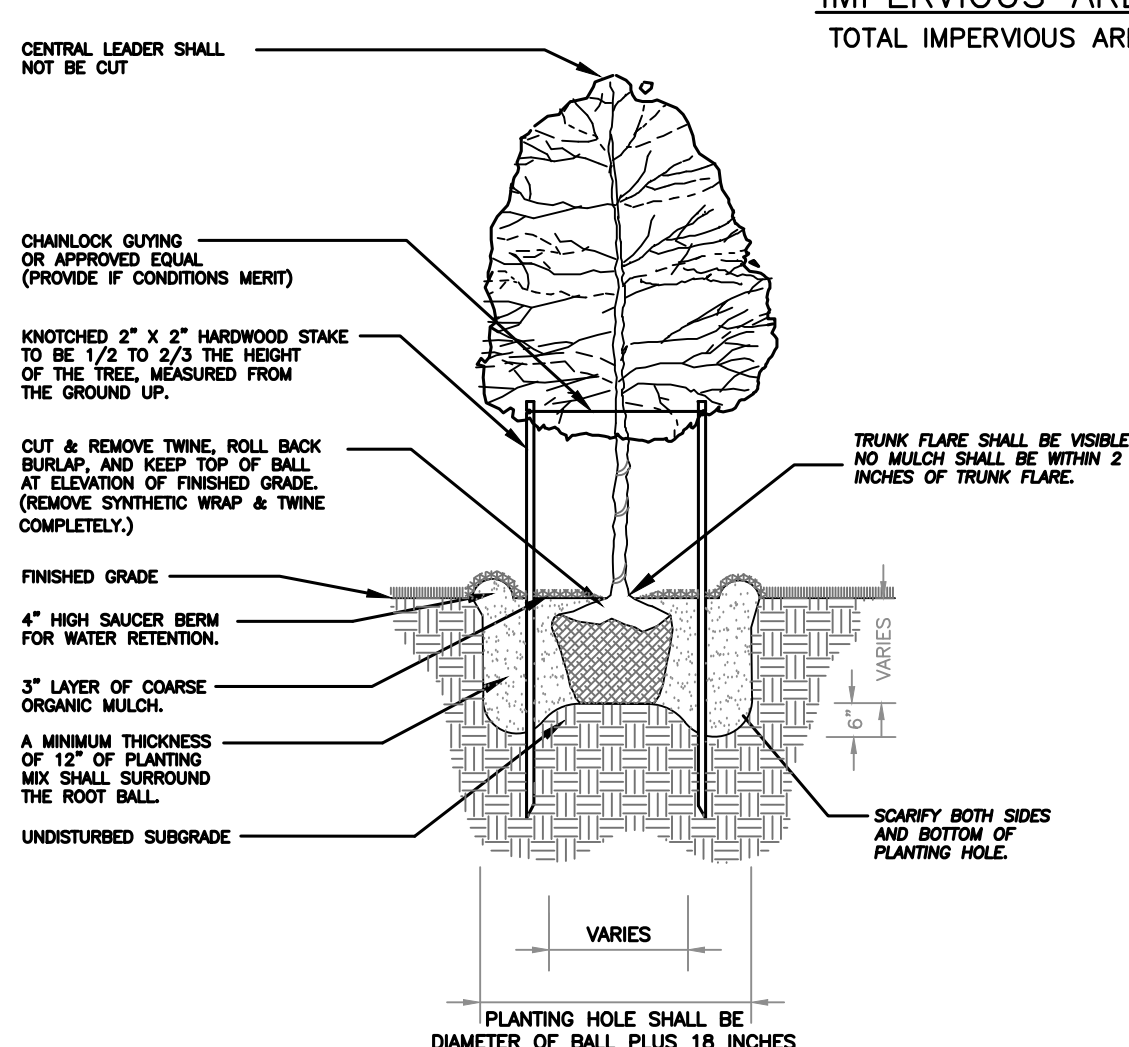
TOTAL IMPERVIOUS AREA = 9,496 SF

PLANTING NOTES:

- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES, AND OTHER REQUIREMENTS IS SHOWN ON THE PLANT LIST. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- NO SUBSTITUTIONS SHALL BE ACCEPTED, EXCEPT WITH WRITTEN PERMISSION OF THE DESIGN
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND ESTABLISHED ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISFIGURING KNOTS, BARK ABRASIONS, INJURIES FROM SUNSCALD, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTIONS. ALL PLANT MATERIAL INSTALLED BETWEEN OCTOBER 15 AND MARCH 15 SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF THE MATERIAL TO THE SITE.
- QUALITY AND SIZE OF PLANT, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. THE TRANSPLANTING AND PLANTING OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "ANSI A300 PART 6: TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES (TRANSPLANTING)."
- CONTRACTOR IS RESPONSIBLE FOR PLANTING IN ACCORDANCE WITH APPROVED PLANS.
- DECIDUOUS AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ANY OVERHEAD UTILITY WIRES AND/OR UNDERGROUND UTILITIES.
- DECIDUOUS AND EVERGREEN TREES SHALL BE PLANTED AT LEAST TWO (2) FEET FROM ANY CURBING, PAVING, OR SIDEWALK. WHENEVER POSSIBLE THIS DIMENSION SHOULD BE INCREASED TO FOUR (4) FEET. ALL PLANTINGS, EXCEPT GROUND COVERS, SHOULD BE PLANTED AT LEAST TWO (2) FEET FROM ANY BUILDING AND FIVE (5) FEET FROM ABOVE AND BELOW GROUND UTILITIES.
- PLANTING MIXTURE SHALL CONSIST OF 70% EXISTING SOIL FROM THE PLANTING SITE AND 30% HUMUS OR MUSHROOM SOIL. PRIOR TO USING EXISTING TOPSOIL, REMOVE ALL FOREIGN DEBRIS AND ALL ROCKS OR STONES LARGER THAN 2 INCHES. EACH CUBIC YARD SHALL BE ADDED AND INCORPORATED BY THOROUGHLY MIXING, FOUR POUNDS OF COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 6-6-6.
- ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS AND SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE.
- ALL PLANT BEDS SHALL BE MULCHED WITH THREE (3) INCHES OF DOUBLE SHREDDED HARDWOOD BARK MULCH OR OTHER MATERIAL APPROVED BY THE OWNER OR ENGINEER. THE LIMIT OF THE MULCH FOR TREES SHALL EXTEND 12 INCHES BEYOND THE PLANTING HOLE, AND FOR SHRUBS AND BEDS, THE ENTIRE SHRUB OR BED AREAS AS INDICATED ON THE PLAN OR APPROVED IN THE FIELD. NO MULCH SHALL BE PLACED WITHIN THREE (3) INCHES OF THE TRUNK OR TRUNK FLARE. NO SEPARATE PAYMENT SHALL BE MADE FOR MULCH, BUT THE COST SHALL BE INCLUDED IN VARIOUS ITEMS OF THE PROPOSAL.
- ALL PLANTING BEDS SHALL BE ROTOTILLED TO A DEPTH OF TEN (10) INCHES PRIOR TO ANY PLANTING. ALL STONES, WIRE, CONCRETE AND UNSUITABLE MATERIALS SHALL BE REMOVED. ALL SHRUB PLANTINGS SHALL BE INSTALLED IN MULCHED PLANTING BEDS EXTENDING AT LEAST TWO (2) FEET FROM THE PLANTS OR AS INDICATED ON THE APPROVED PLANS.
- CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR 1 YEAR. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING PLANT MATERIAL. ONCE PLANTING MATERIAL IS ESTABLISHED AND ACCEPTED, THE OWNER WILL BE RESPONSIBLE FOR CONTINUAL MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING. ANY RELOCATED PLANT MATERIALS SHALL BE COORDINATED WITH THE ENGINEER.
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, AND EQUIPMENT, INCIDENTALS AND CLEAN UP.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
- PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. ALL PLANT MATERIALS SHALL REMAIN PROTECTED IF IT IS NOT PLANTED WITHIN DAY OF DELIVERY, BUT SHALL NOT EXCEED TWO (2) DAY PERIOD AFTER DELIVERY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE.
- ALL NON-BIODEGRADABLE ROOT WRAPPINGS (INCLUDING WIRE BASKETS) ARE TO BE REMOVED COMPLETELY BEFORE PLANTING.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. SHEARS ARE TO BE STERILIZED BETWEEN TREES.
- ALL INJURED ROOTS SHALL BE PRUNED BEFORE PLANTING, AND OBVIOUS GIRDLING ROOTS REMOVED, PRUNED OR EXTENDED AS APPROPRIATE. PRUNE BRANCHES THAT CROSS. THE MAIN LEADER OF DECIDUOUS TREES SHOULD NOT BE CUT BACK. LONG SIDE BRANCHES MUST BE SHORTENED.
- TREES ARE TO BE SUPPORTED IMMEDIATELY AFTER PLANTING. TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE AS INDICATED.
- UNLESS OTHERWISE NOTED, ALL DECIDUOUS AND EVERGREEN TREES SHALL HAVE A SINGLE TRUNK.
- DECIDUOUS AND EVERGREEN TREES WHICH ARE B&B SHALL BE DRUM LACED IN LIEU OF WIRE BASKETS.



SHRUB PLANTING DETAIL
NOT TO SCALE



SHADE TREE PLANTING DETAIL
NOT TO SCALE

PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
AB	TRIDENT MAPLE	ACER BUERGERIANUM	6	3-1/2" CAL. MIN.	B&B 'SHADE TREE'
ICH	ILEX CRENATA 'HELLER'	HELLERI JAPANESE HOLLY	6	15-18"	#3 CAN EVERGREEN SHRUB
TM	TAXUS 'X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	4	24-30"	#3 CAN EVERGREEN SHRUB
RA	RHUS AROMATICA 'GROW LOW'	GROW-LOW FRAGRANT SUMAC	11	24-30"	#3 CAN EVERGREEN SHRUB
TO	THUJA ACCIDENTALIS 'NIGRA'	DARK GREEN AMER. ARBORVITAE	52	6" B&B	EVERGREEN TREE

NOTES:

- ALL EXTERIOR GROUND AREAS NOT OCCUPIED BY BUILDINGS, STRUCTURES AND PAVING (EXCEPT AREAS INDICATED TO BE UNDISTURBED AND PLANTING BEDS) SHALL BE LAWN AREAS.



GRAPHIC SCALE

ENGINEER:
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CERTIFICATE OF AUTHORIZATION # 246A28279000

DATE: 10-6-2021
MICHAEL D. GALANTE
NJ PROFESSIONAL ENGINEER LIC. NO. PE 48374

NOT FOR
CONSTRUCTION

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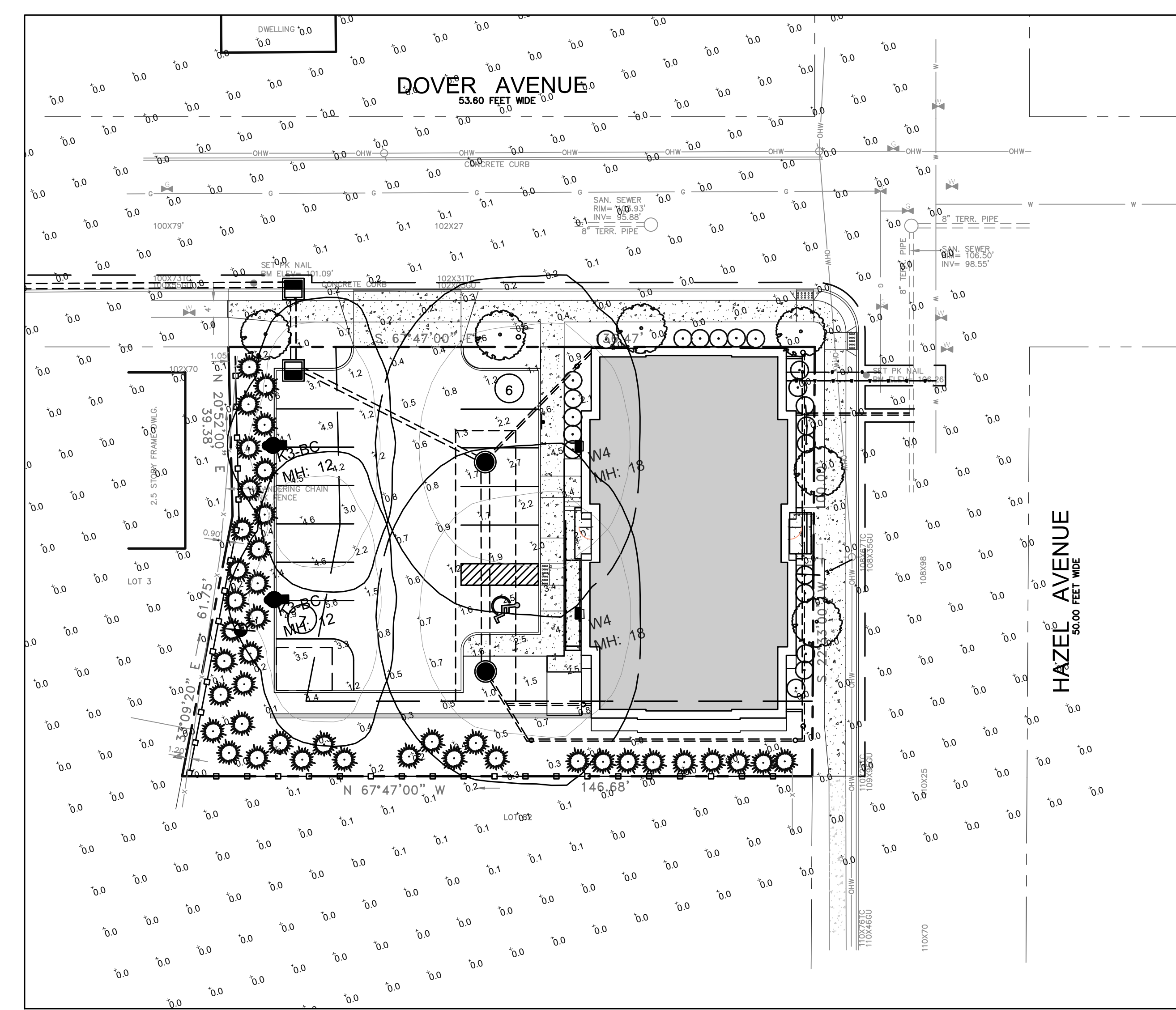
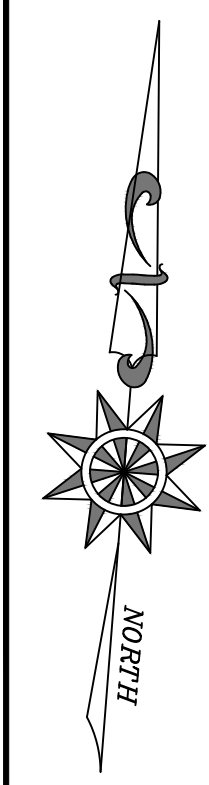
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NO.	DATE	REVISION

SITE AND LANDSCAPE PLAN

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
URBAN DECO, LLC
BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE
LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

DATE	SCALE
APRIL, 2021	AS NOTED
JOB No.: 2021-555	SHEET No.: 3



PLAN
SCALE: 1" = 20'

IM LIGHTING
RA17A2 ARCHITECTURAL AREA SITE

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

Era

FEATURES

- TR Optics
- Available in 580nm, 3000K, 4000K and 5000K standard CCT
- Type 1, 2, 3, 4K, 5K, 5W distributions
- 0-10V dimming drivers standard

CONSTRUCTION (CONTINUED)

- One-piece die-cast housing, low copper 100% Cu Aluminum Alloy with integral cooling fins over the optical chamber and electrical compartment
- Solid center wall separates optical and electrical compartments
- Double-thick wall with gaskets on the support-arm mounting and
- Housing fins as half cylinder with 55° front face plane providing a recess to allow a flush single-tech detail
- All hardware is stainless steel or electro-zinc plated steel
- Finish: fade and abrasion resistant, electrochromically applied, thermally cured, hydrophobic fluoropolymer (TFG) polyester powdercoat
- One-piece die-cast, low copper (100% Cu) aluminum alloy lens frame with 1" minimum depth around the gasket flange
- Optional clear 1/8" thick tempered glass lens recessed by eight steel clips with full silicone gasketing around the perimeter
- Optics: feature supplied with a one-piece, fully gasketed, CAUTION: Use only when ventilation is anticipated to be high. Useful life is limited by UV degradation from sunlight. A program of regular inspection and periodic replacement is highly recommended to maintain optimum feature performance
- One-piece extruded aluminum arm with internal bolt guides and fully insulated top and bottom
- Luminaire to pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief

CONSTRUCTION (CONTINUED)

- Arm is circular cut for specified round pole
- Optional cast, low copper aluminum horizontal slip flange with stainless plate to secure the luminaire to 2" IPS pipe size arms
- Optional cast aluminum wall mount plate assembly. Attaches to the wall over the junction box. Luminaire attaches to the wall plate

OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED engine, TR optics, gasket and bezel plate
- Cartridge is easily disassembled to replace components. Optics are held in place without the use of adhesives
- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features revolutionary individual LED optical control based on high performance TM optical designs
- Optional Backlight Control for complete control of unmetallized backlight
- IP65 Optical assembly
- Type 1, 2, 3, 4K, 5K, and 5W standard distributions Custom available
- 3000K, 4000K, 5000K standard CCT. Amber and custom available
- Die-cast, low copper aluminum heat sink modules provide thermal transfer at PCB level
- Anodized aluminum heat sink modules

ELECTRICAL

- Dimming range from 10% to 100% through the use of standard 0-10V interface on the programmable driver
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes are available. Consult factory
- Extended housing available with 1/2" threaded tube for surface conduit and rated wire
- Standard luminaire shipping weight: 10 lbs in carton
- Max luminaire shipping weight (with back mounting hardware): 20 lbs in carton
- This product qualifies as a "designated country construction material" per FAR 23.225-8 Buy American Construction Materials and Trade Agreements effective 6/06/2020. See Buy American Solutions
- DA Approved, 3000K and warmer CCTs only

KEY DATA

Lumen Range	2,200-3,450
Wattage Range	42-71.3
Efficacy Range (LPW)	52.6-53.4
Reported Life (Hours)	170,000,000
Weight	37 to 97.0 kg
EPA Front View	0.8

WARRANTY

- 5 year warranty
- See LSI Standard Warranty for additional information

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury
- Die-cast, low copper aluminum heat sink modules provide thermal transfer at PCB level
- Anodized aluminum heat sink modules

Mirada Small Wall Sconce (XWS)
Outdoor LED Wall Light

OVERVIEW

Lumen Output Range	2,000 - 4,000
Wattage Range	15 - 52
Efficacy Range (LPW)	109 - 101
Luminaire Weight (lbs. Dp)	8 (3.6)

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes are available. Consult factory
- Extended housing available with 1/2" threaded tube for surface conduit and rated wire
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Electrical

- High-performance driver features over-voltage under-voltage, short-circuit and over-temperature protection
- 0-10V dimming (10% - 100%) standard
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC)
- L70 Calculated Life >60K Hours
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor >90
- Input power stays constant over life
- Optional 10kV surge protection device meets a minimum Category C Low impedance (per ANSI/IEEE C82.41.2)
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation and dust, providing an IP65 rating for the luminaire
- Reflector system with recessed light engine reduces glare and brightness
- Forward Throw Wide and Medium distributions available
- Optional diffused lens for reduced LED radiation over the lens and maximum visual comfort
- Zero-wiggle
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C82.37
- Minimum CRI of 80

Optical System

- Choice of acrylic lens or high impact resistant polycarbonate lens
- The lens is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire
- Reflector system with recessed light engine reduces glare and brightness
- Forward Throw Wide and Medium distributions available
- Optional diffused lens for reduced LED radiation over the lens and maximum visual comfort
- Zero-wiggle
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C82.37
- Minimum CRI of 80

WARRANTY

- 5 year warranty
- See LSI Standard Warranty for additional information

LISTINGS

- Listed to UL 1598 and UL 8750
- Meets Buy American Act requirements
- IDA compliant, with 2700K or 3000K color temperature selection
- Title 24 Compliant; see local ordinance for qualification information
- Suitable for wet locations
- IP65 rated luminaire per IEC 60996-1
- IK08 rated luminaire per IEC 62282 mechanical impact code with clear polycarbonate lens (MTP)
- DesignLights Consortium® (DLC) Qualified product. Not all versions of this product are DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.

Controls

- Optional integral passive infrared Bluetooth® motion and photocell sensor. Features operate independently and can be commissioned via iOS or Android configuration app.

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MICHAEL GALANTE PE

76 ARGYLE AVENUE
BLACKWOOD, N.J. 08012
PHONE: 1-856-404-0540

APPLICANT/OWNER:
URBAN DECO, LLC
21 TERRIER PLACE
KENDALL PARK, NJ 08824

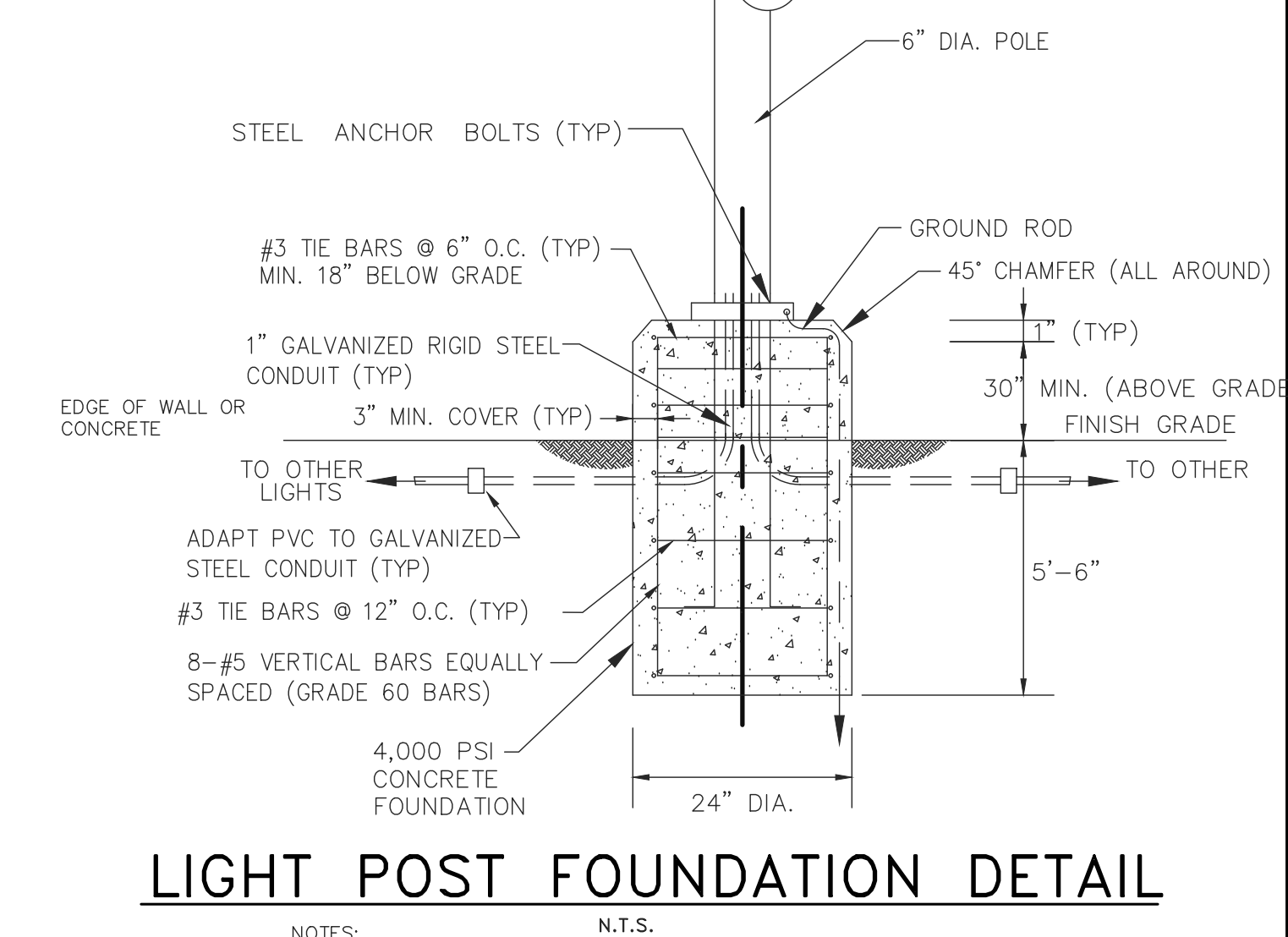
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CERTIFICATE OF AUTHORIZATION
24628279000

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LIGHT POST FOUNDATION DETAIL

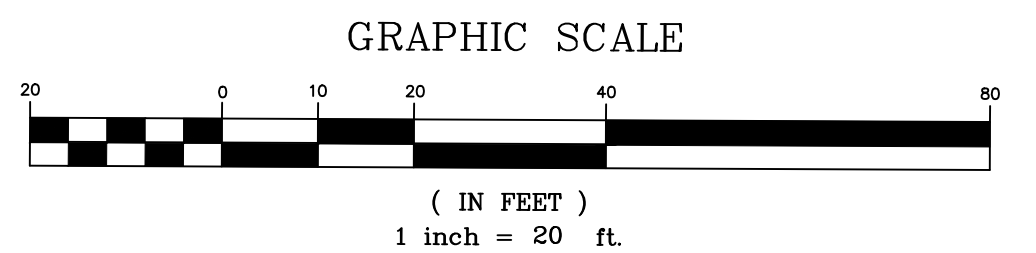
- NOTES:
- CONTRACTOR SHALL NOT A BUILDING PERMIT AND ALL REQUIRED INSPECTIONS FOR THE INSTALLATION OF PROPOSED LIGHT FIXTURE FOUNDATION IN ACCORDANCE WITH THE APPROVED PLAN.

LUMINAIRE SCHEDULE **REFER TO LIGHTING FIXTURE CUTSHEETS FOR COMPLETE CATALOG NUMBERS**

Symbol	Qty	Fixture Type	Description	Manufacturer	Catalog No.	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Filename
○	2	K3-BC	LED AREA LIGHT, TYPE 3 DISTRIBUTION WITH BACK LIGHT CONTROL, NOM 3800 LUMENS, 17IN DIA HOUSING	KIM LIGHTING	RA172-36L-645-4K7-3-BC	4000K	0.900	73.35	3830	12	RA172-36L-645-4K7-3-BC.ies
+	2	W4	LED WALL-MTD FULL CUTOFF AREA LIGHT, FORWARD THROW DISTRIBUTION, NOM 5200 LUMENS	LSI INDUSTRIES, INC.	XWS-LED-05L-FTW-30-80CRI	3500K	0.900	39	5258	18	XWS-LED-05L-FTW-30-80CRI.ies

CALCULATION SUMMARY

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpLr	PtSpTb
CALC POINTS TO ZERO	Illuminance	Fc	0.28	5.6	0.0	N.A.	N.A.	10	10
PARKING	Illuminance	Fc	2.05	5.6	0.4	5.13	14.00		
WALKWAY	Illuminance	Fc	3.00	4.7	0.9	3.33	5.22		



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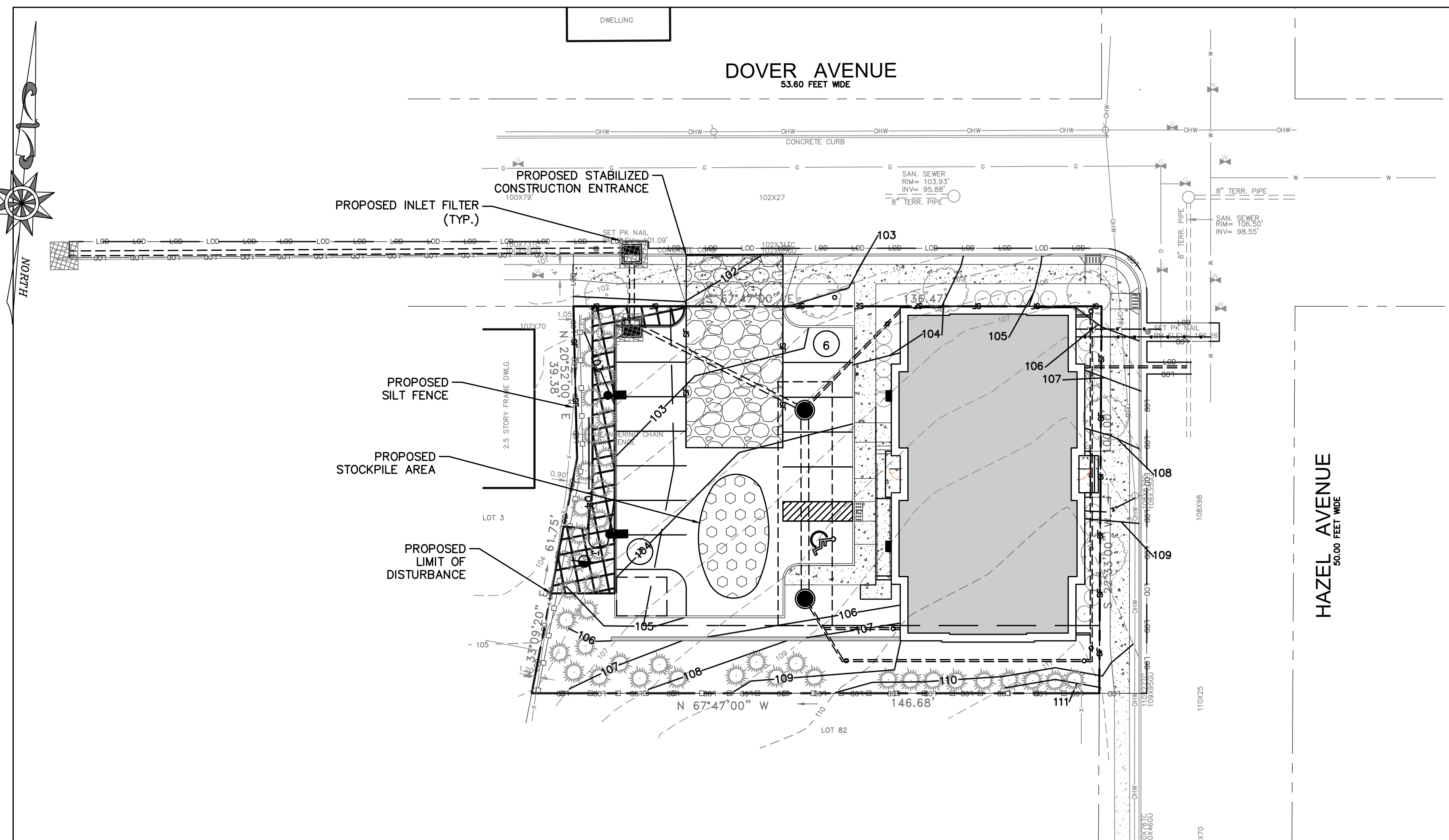
LIGHTING PLAN

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
URBAN DECO, LLC
BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE
LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

URBAN DECO, LLC
21 TERRIER PLACE
KENDALL PARK, NJ 08824

DATE: APRIL, 2021
JOB No.: 2021-555

DESIGN BY: M.D.G.
CHECKED BY: M.D.G.
SCALE: AS NOTED
SHEET No.: 5



IMPERVIOUS AREA
TOTAL IMPERVIOUS AREA = 9,678 SF

EARTH DISTURBANCE
TOTAL LIMIT OF EARTH DISTURBANCE = 17,932 SF (0.411 ACRES)

PLAN
SCALE: 1" = 20'

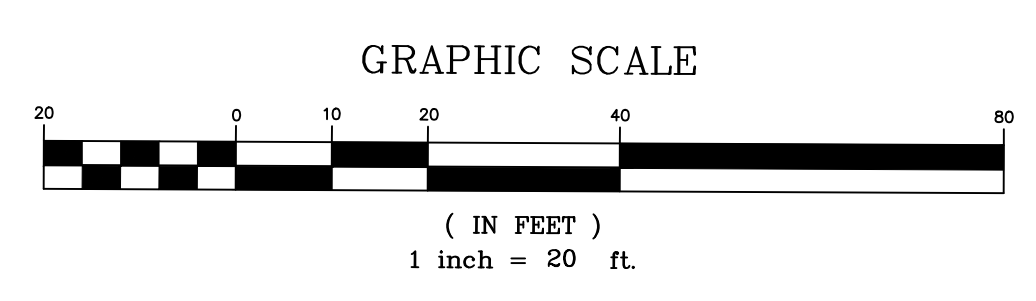
EROSION AND SEDIMENT CONTROL PLAN NOTES AND LEGEND	
	= DENOTES STABILIZED CONSTRUCTION ACCESS
	= DENOTES SOIL STOCKPILE AND STAGING LOCATION
	= INLET FILTER
	= PROPOSED LIMIT OF DISTURBANCE LINE
	= PROPOSED SILT FENCE

THIS PLAN SHALL BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY
REFER TO SESC NOTES AND DETAILS (SHEET 7)

- NOTES:**
- 1.) BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
 - 2.) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - 3.) VERTICAL DATUM IS REFERENCED TO NAVD 1988.
 - 4.) THIS SURVEY IS REFERENCED TO A FORMER SURVEY BY DONALD P. SWEENEY, P.L.S., DATED 2-2-2018 AND REVISED TO 2-7-2018.
 - 5.) 100X00 INDICATES TYPICAL SPOT ELEV..
 - 6.) THE EXISTANCE AND/OR LOCATION OF UNDERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.
 - 7.) CONTAINING 13,899 S.F. OR 0.32 ACRES±

LEGEND

	RIGHT-OF-WAY CURB		SAN, SEWER VENT
	UNDERGROUND ELEC.		CLEAN-OUT
	UNDERGROUND GAS		FIRE HYDRANT
	UNDERGROUND WATER		"A" SEWER INLET
	UNDERGROUND TELEPHONE		"B" SEWER INLET
	OVERHEAD WIRES		TRAFF. LIGHT STANDARD
	CHAIN LINK FENCE		D.O.T. BOX
	WOOD FENCE		DEPRESSED CURB
	MANHOLE		TRAFF. SIGN
	WELL MANHOLE		UTILITY POLE
	WATER METER		OVERHEAD LIGHT
	GAS METER		ROOF DRAIN
	WATER VALVE		
	GAS VALVE		
	VALVE		
	TREE		
	A.D.A. TILE		



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A. SOIL COMPACTION AND TESTING REQUIREMENTS

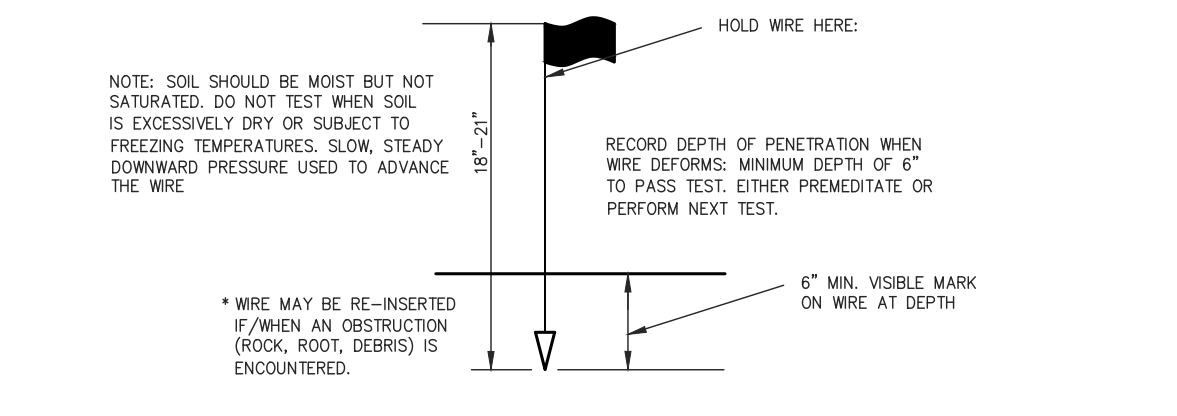
1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLANS.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATION OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT THE TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

B. COMPACTION TESTING METHODS

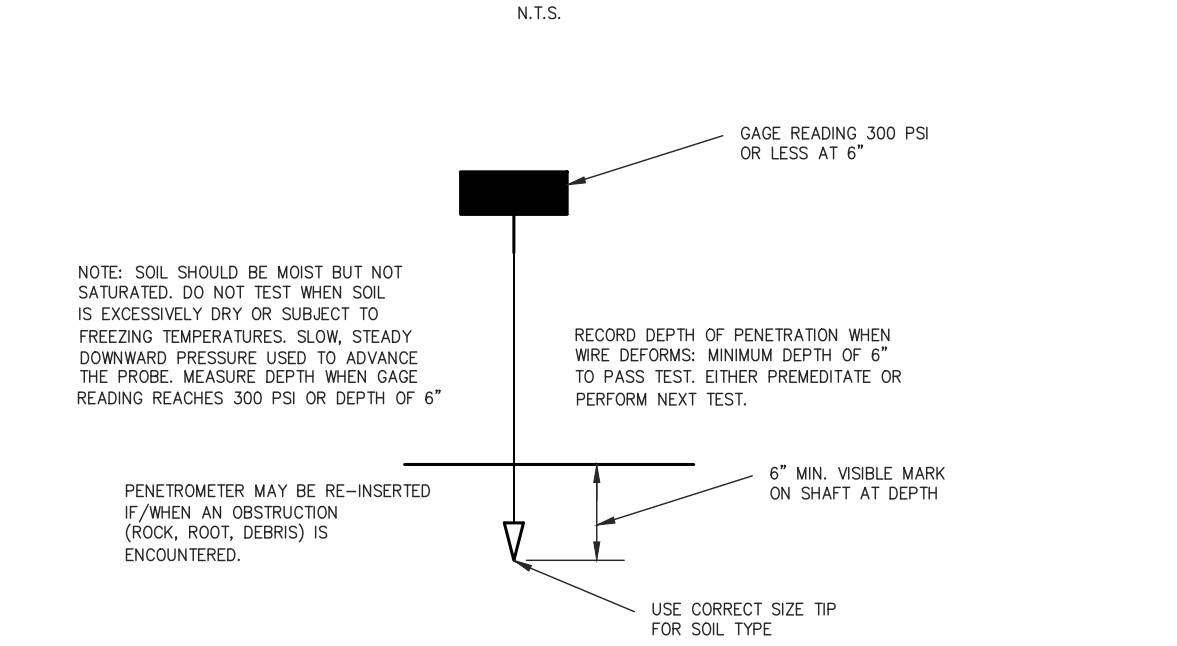
1. PROBING WIRE TEST (SEE DETAIL)
2. HAND-HELD PENETROMETER TEST (SEE DETAIL)
3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
5. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO THE ASTM STANDARDS AND SPECIFICATION AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
6. DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL LATEST EDITION.
7. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

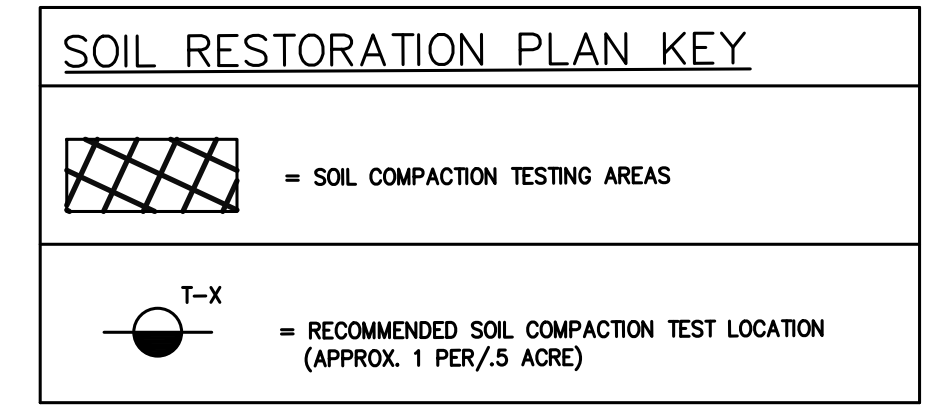


SECTION
PROBE WIRE TEST
15.5 GA. STEEL WIRE (SURVEY FLAG)



SECTION
HANDHELD SOIL PENETROMETER TEST

TOTAL LIMIT SOIL RESTORATION = 671 SF (0.015 ACRES)



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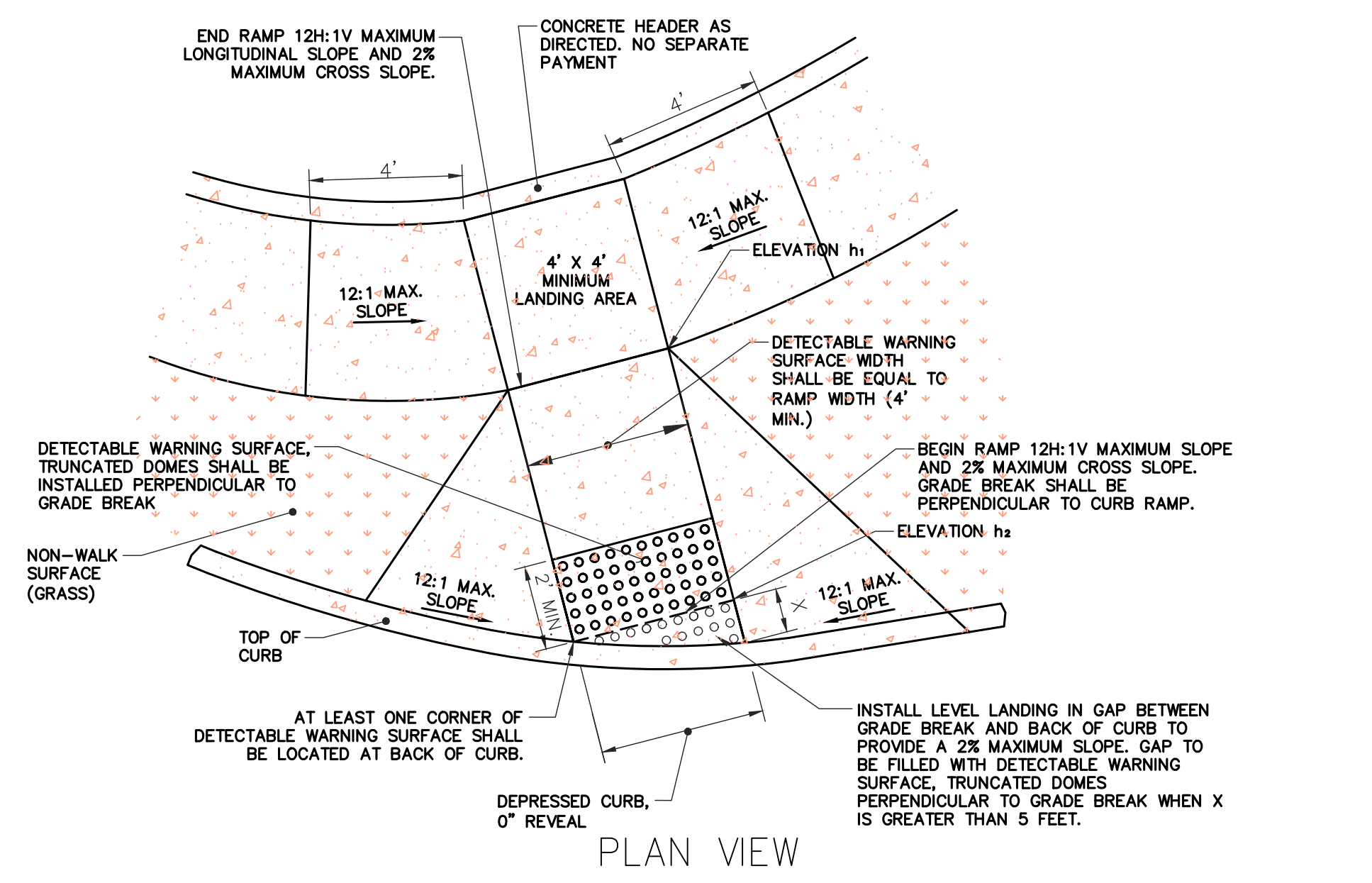
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REVISION	DATE	BY

SOIL EROSION & SEDIMENT CONTROL PLAN

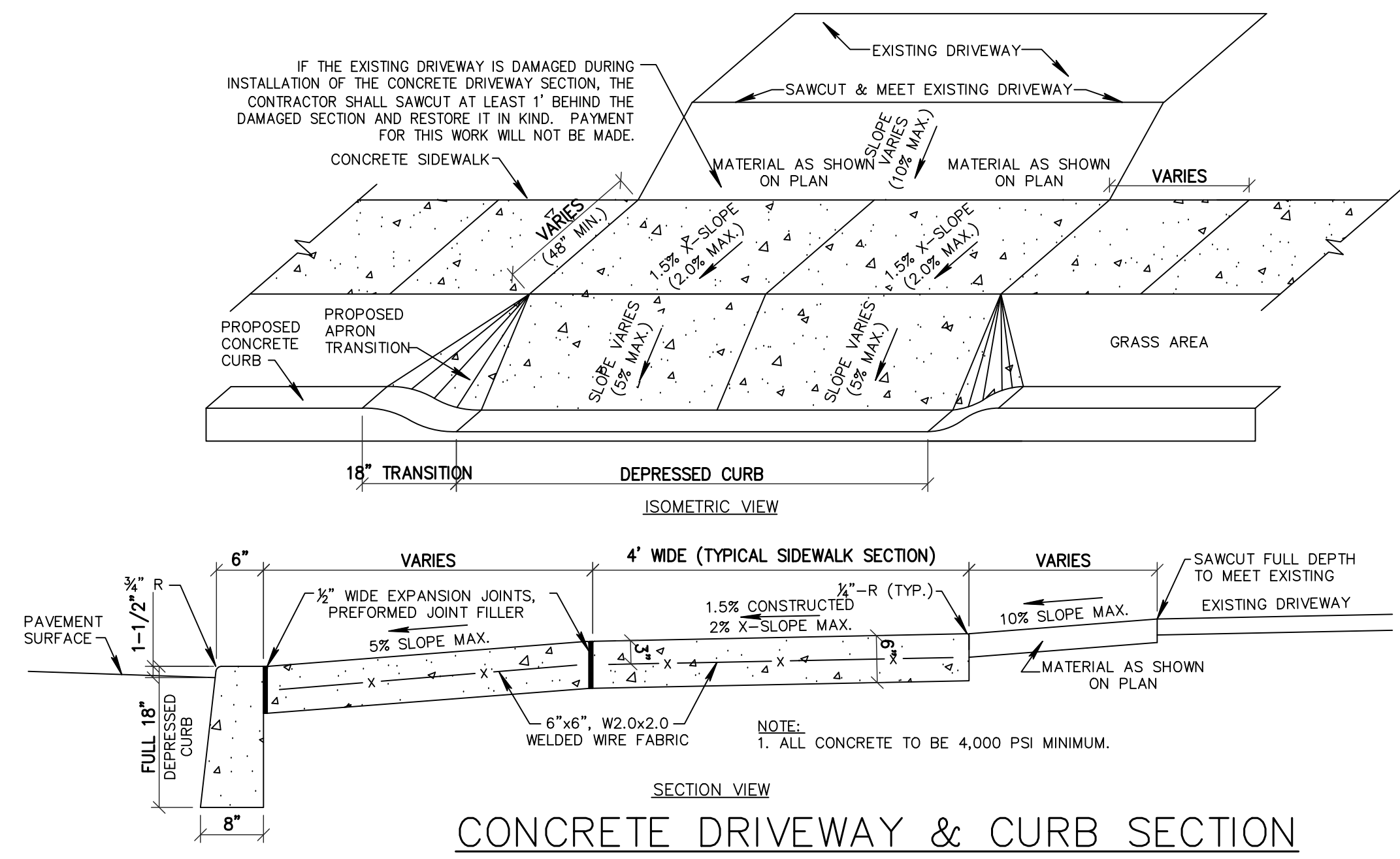
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APRIL, 2021	6
JOB No.: 2021-555	



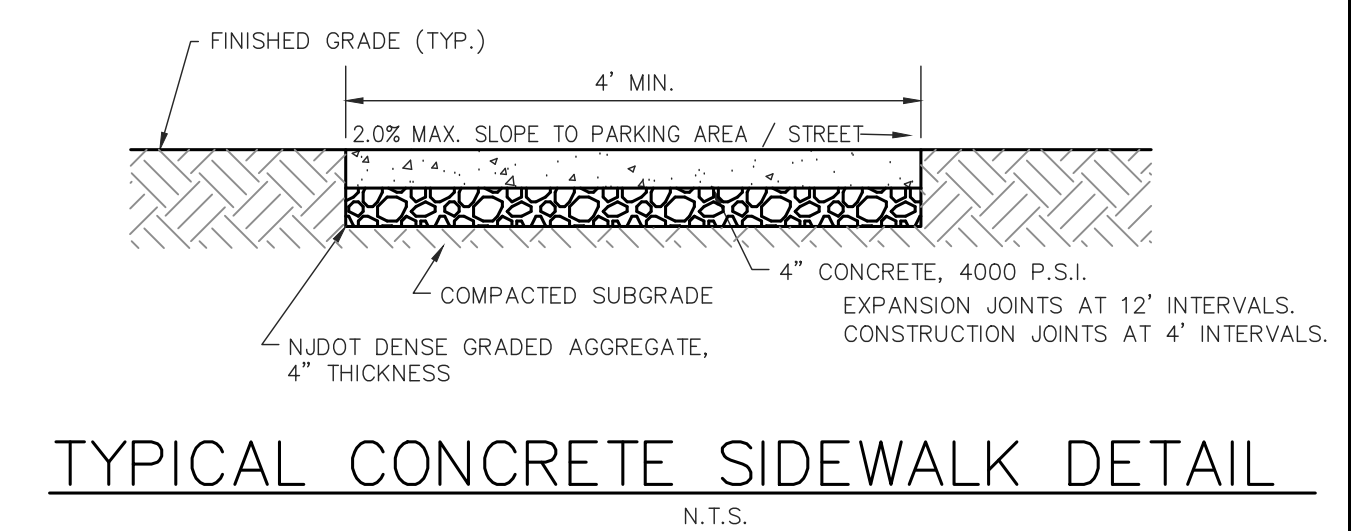
ADA CURB RAMP & DETECTABLE WARNING SURFACE DETAIL
N.T.S.

- NOTES:**
- ALL PEDESTRIAN ACCESS TO SIDEWALKS AND STREETS, INCLUDING CROSSWALKS, CURB RAMPS, STREET FURNISHINGS, PEDESTRIAN SIGNALS, PARKING AND OTHER COMPONENTS OF PEDESTRIAN ACCESS IN THE RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY GUIDELINES PROPOSED BY THE ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD).
 - GRADE BREAKS AT THE TOP AND BOTTOM OF THE CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF RAMP RUN. AT LEAST ONE END OF THE BOTTOM GRADE BREAK SHALL BE AT THE BACK OF CURB. WHEN INSTALLING A CURB RAMP ON A CURB RADIUS, THE AREA BETWEEN THE GRADE BREAK AND THE BACK OF CURB SHALL MEET THE SLOPE REQUIREMENTS FOR LANDINGS AND PROVIDE ADEQUATE DRAINAGE TO PREVENT THE ACCUMULATION OF WATER OR DEBRIS ON OR AT THE BOTTOM OF THE RAMP. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF CURB RAMPS, BLENDED TRANSITIONS, LANDINGS, AND CUTTER AREAS WITHIN THE PEDESTRIAN ACCESS ROUTE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. THE ROWS OF TRUNCATED DOMES IN THE DETECTABLE WARNING SURFACE SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP AND THE LANDING.
 - H-CURB HEIGHT. VOID NJDOT DETAIL CD-606-1. H = h₁-h₂

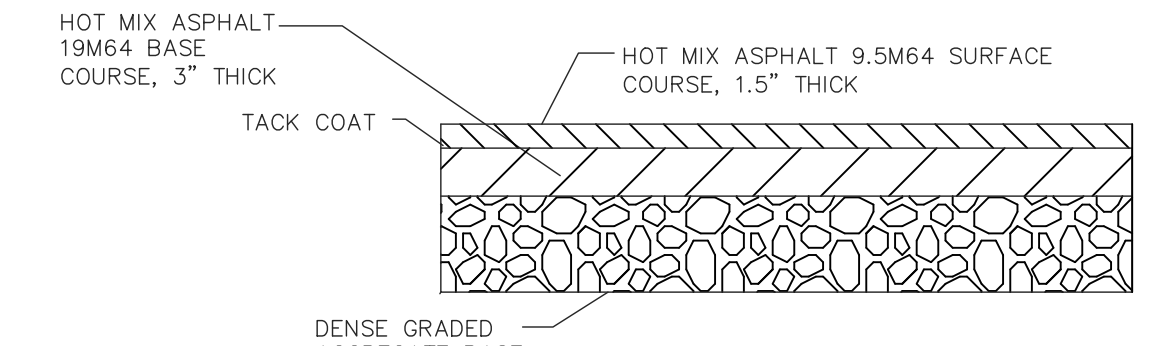


CONCRETE DRIVEWAY & CURB SECTION
N.T.S.

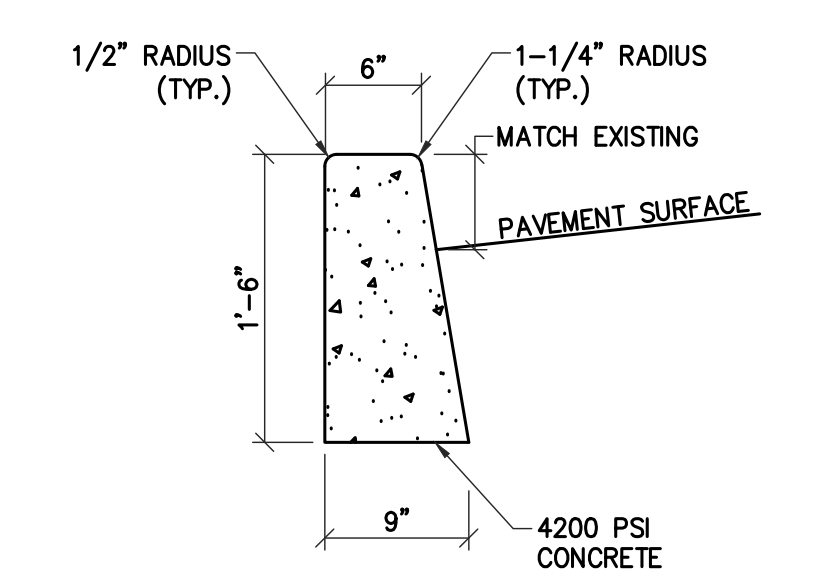
- DRIVEWAY NOTES:**
- DRIVEWAYS WHERE CURB IS NOT PRESENT SHALL BE FLUSH TO THE FINISHED ROADWAY GRADE UNLESS OTHERWISE NOTED.
 - DRIVEWAYS WHERE CURB IS PRESENT SHALL HAVE A ONE AND ONE HALF INCH (1.5") CURB REVEAL AND SHALL TRANSITION BACK TO CURB HEIGHT AS INDICATED ON THE PLANS CONSISTENT WITH NJDOT STANDARDS UNLESS OTHERWISE NOTED.
 - DEPTH OF DRIVEWAY REPAIR SHALL BE MEASURED FROM THE BACK OF CURB OR EDGE OF ROADWAY AND SHALL BE 3" DEEP OR MATCH THE BACK OF SIDEWALK WHERE PRESENT UNLESS OTHERWISE NOTED OR DIRECTED.
 - ALL DRIVEWAYS SHALL BE CONSTRUCTED SEPARATELY FROM ROADWAY PAVING OPERATIONS.
 - ALL DRIVEWAYS ARE TO BE REVIEWED BY FIELD INSPECTOR PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO INSTALL HUMPS IN DRIVEWAY 3' FROM PROPOSED EDGE OF PAVEMENT IF POSITIVE FLOW OF STORMWATER TO THE ROADWAY CANNOT BE ACHIEVED.



TYPICAL CONCRETE SIDEWALK DETAIL
N.T.S.

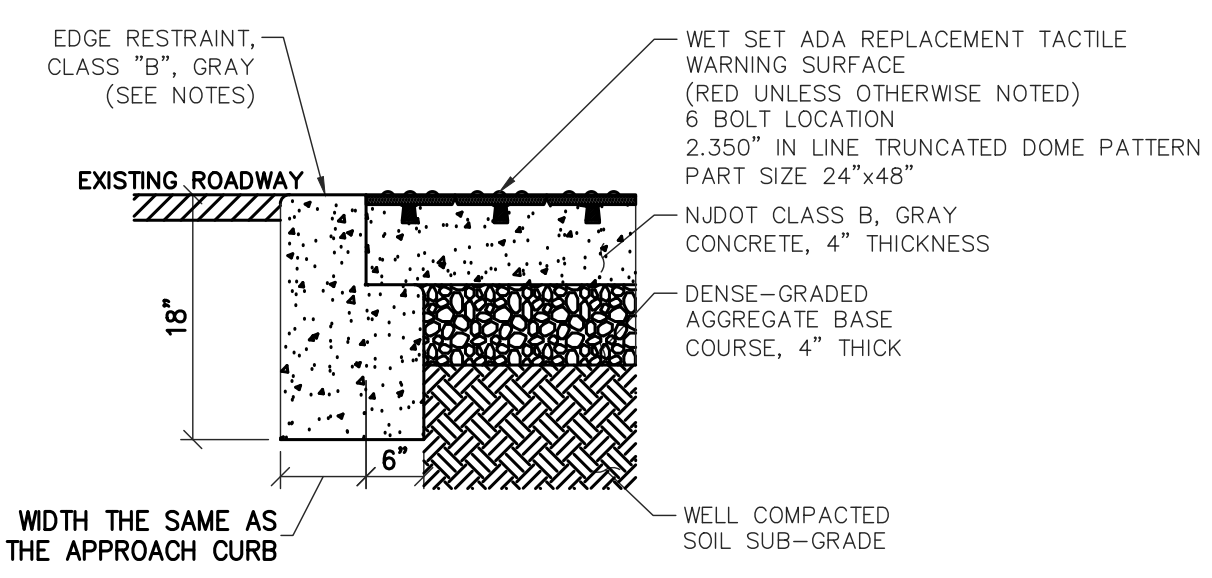


ASPHALT PAVEMENT DETAIL
N.T.S.



9"x18" CONCRETE VERTICAL CURB
N.T.S.

- NOTES:**
- EXPANSION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10' APART AND FILLED WITH CELLULAR COMPRESSION MATERIAL AS SPECIFIED, AND RECESSED 1/4" FROM FACE AND TOP OF CURB.

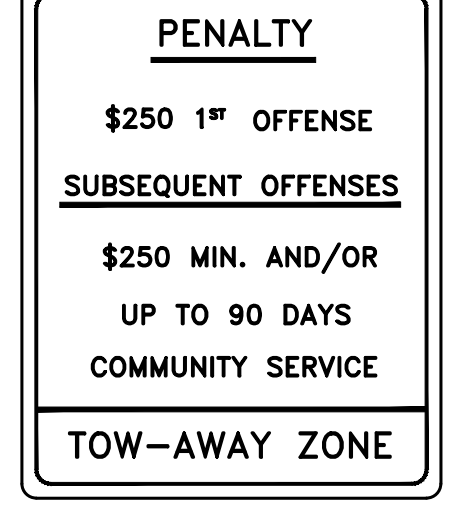


COMPOSITE TILE CURB RAMP DETAIL
N.T.S.

- NOTES:**
- SEPARATE PAYMENT WILL NOT BE MADE FOR STABILIZED BED, CONCRETE BASE COURSE, CONCRETE EDGE RESTRAINT AND DENSE GRADED AGGREGATE, BUT THE COST SHALL BE INCLUDED IN THE PAID BID ITEM FOR DETECTABLE WARNING SURFACE, CAST-IN-PLACE.

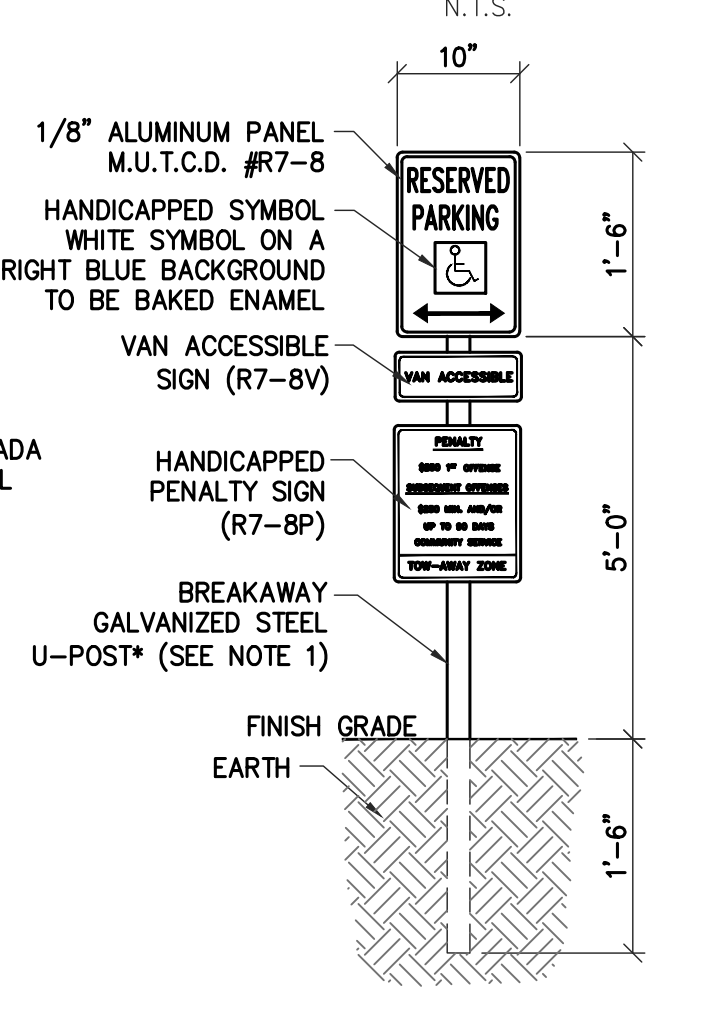


VAN ACCESSIBLE SIGN
6"x12"



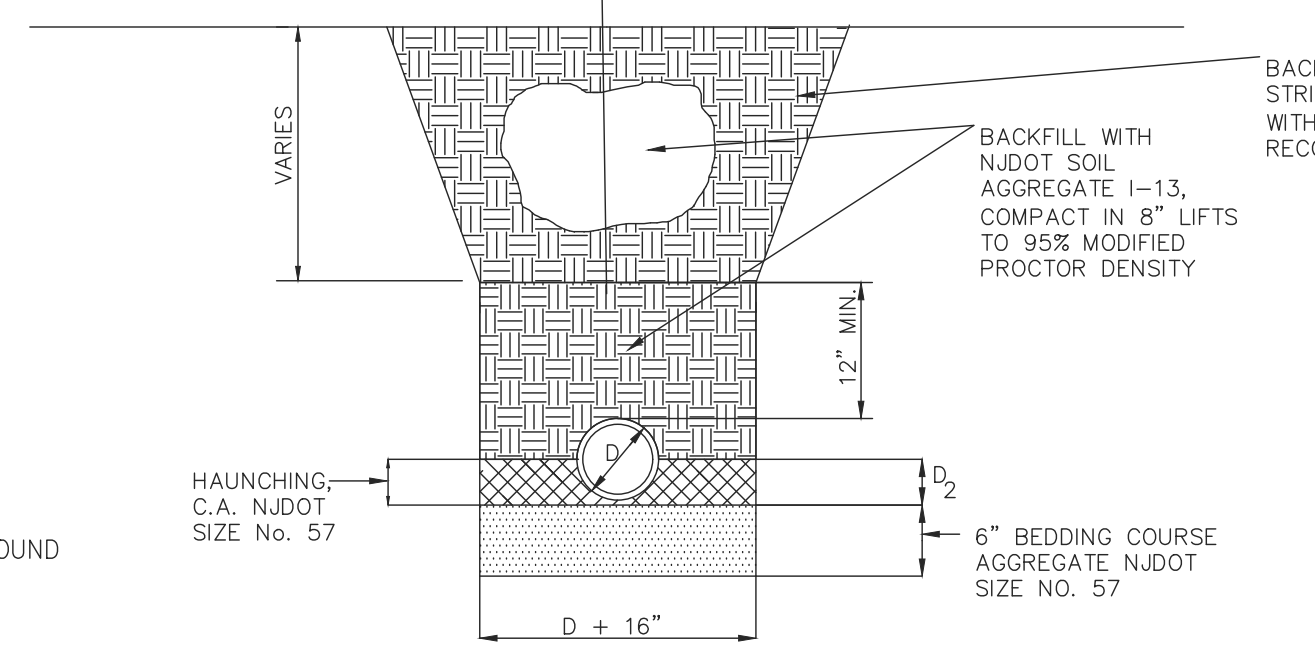
PENALTY SIGN
10"x12"

ADA PENALTY SIGN
N.T.S.

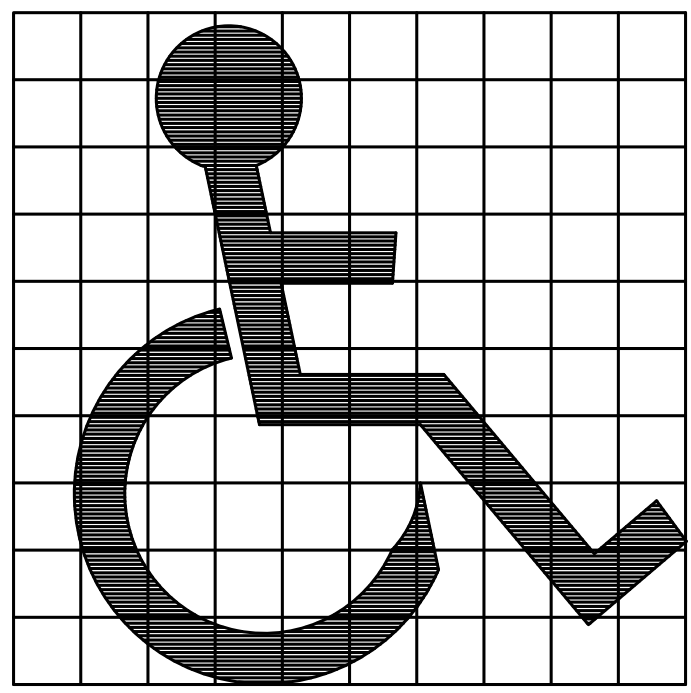


ADA PARKING SIGN
N.T.S.

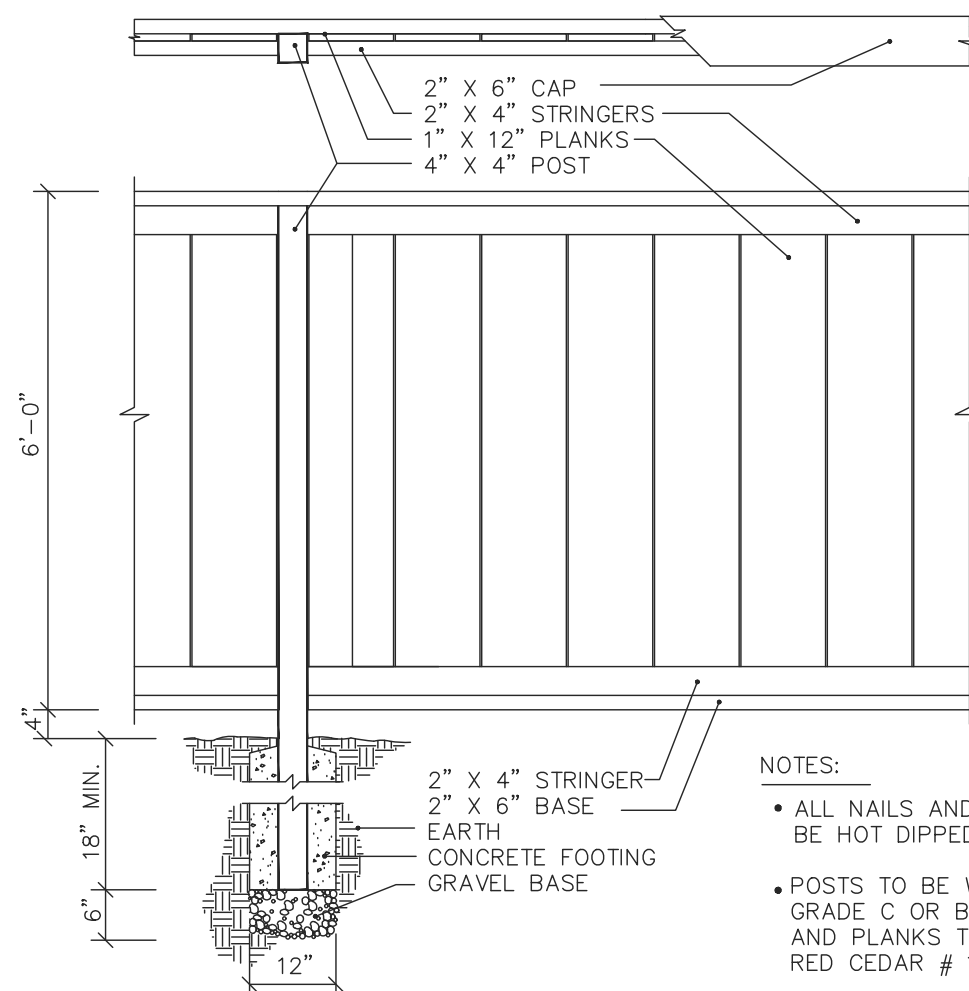
- NOTE:**
- GALVANIZED STEEL U-POST AND BREAKAWAY SHALL BE IN ACCORDANCE WITH THE NJDOT STANDARD SPECIFICATIONS AND DETAILS.



PVC/H.D.P.E PIPE TRENCH DETAIL
N.T.S.

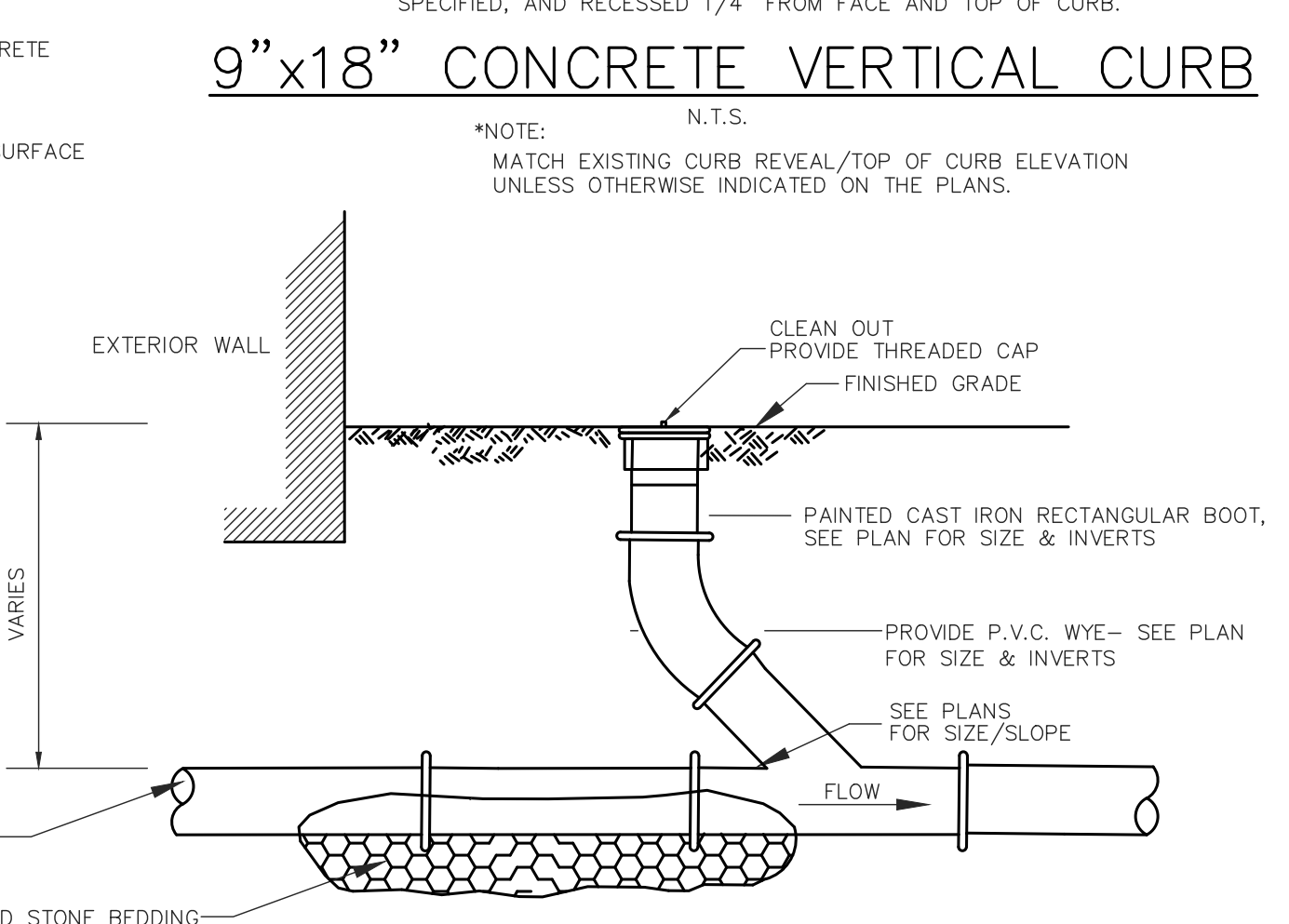


ADA SYMBOL
N.T.S.

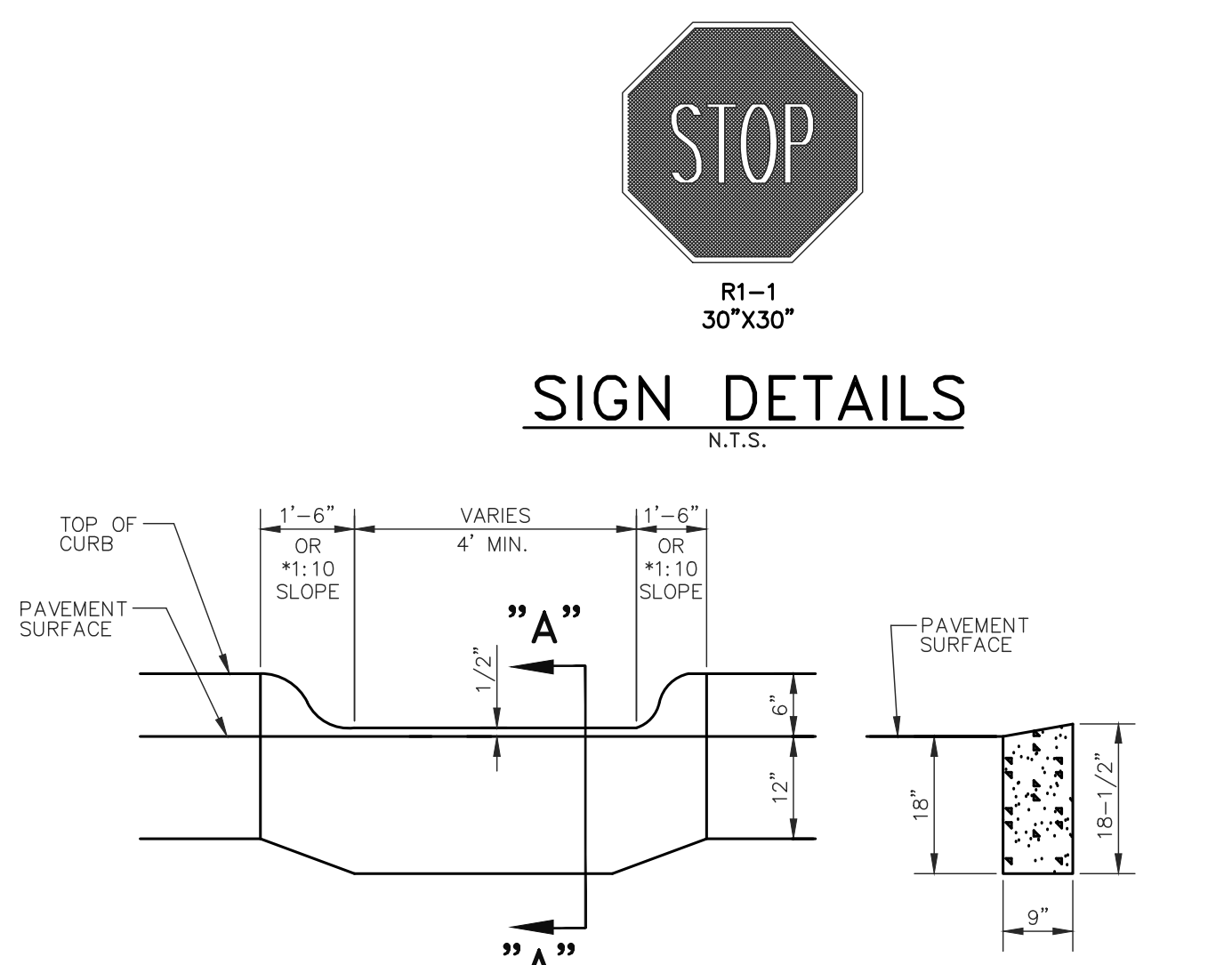


WOOD FENCE-12" PLANKS
N.T.S.

- NOTES:**
- ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED
 - POSTS TO BE WOLMANIZED PINE GRADE C OR BETTER, STRINGERS AND PLANKS TO BE WESTERN RED CEDAR # 1



ROOF DRAIN AT BUILDING
N.T.S.



DEPRESSED CURB DETAIL
N.T.S.

ENGINEER:
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BLACKWOOD, N.J. 08012
PHONE: 1-856-404-0540

APPLICANT/OWNER:
URBAN DECO, LLC
21 TERRIER PLACE
KENDALL PARK, NJ 08824

DATE: 10-6-2021
MICHAEL D. GALANTE
NJ PROFESSIONAL ENGINEER LIC. NO. PE 48374

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CERTIFICATE OF AUTHORIZATION # 24628279000

NOT FOR CONSTRUCTION

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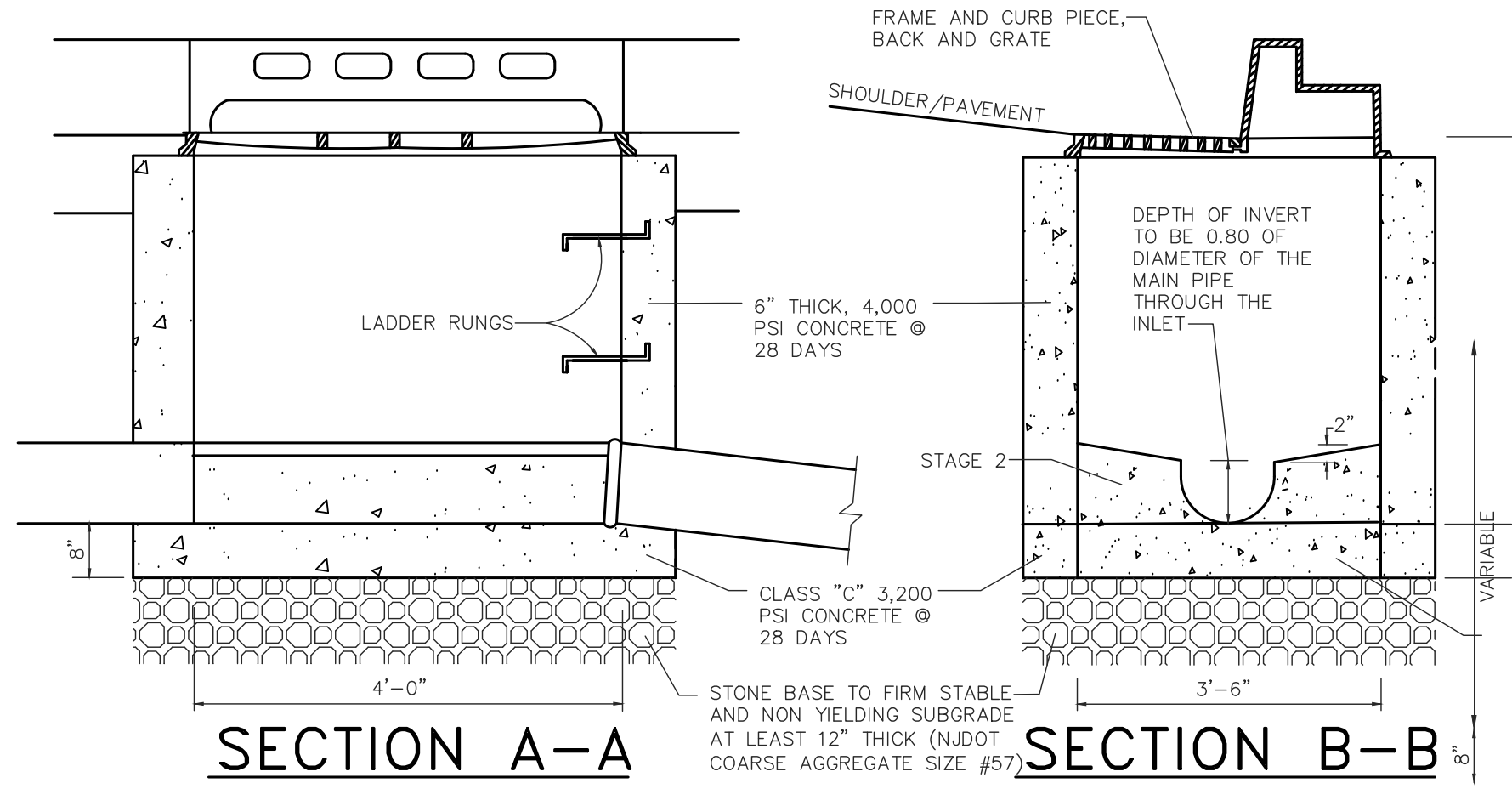
NO.	REVISION	DATE	BY

CONSTRUCTION DETAILS

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
URBAN DECO, LLC
BLOCK: 25, LOTS: 83-86, PLATE: 1
33-37 DOVER AVENUE
LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

DRAWN BY: M.D.G. **DESIGN BY:** M.D.G. **CHECKED BY:** M.D.G. **SCALE:** AS NOTED

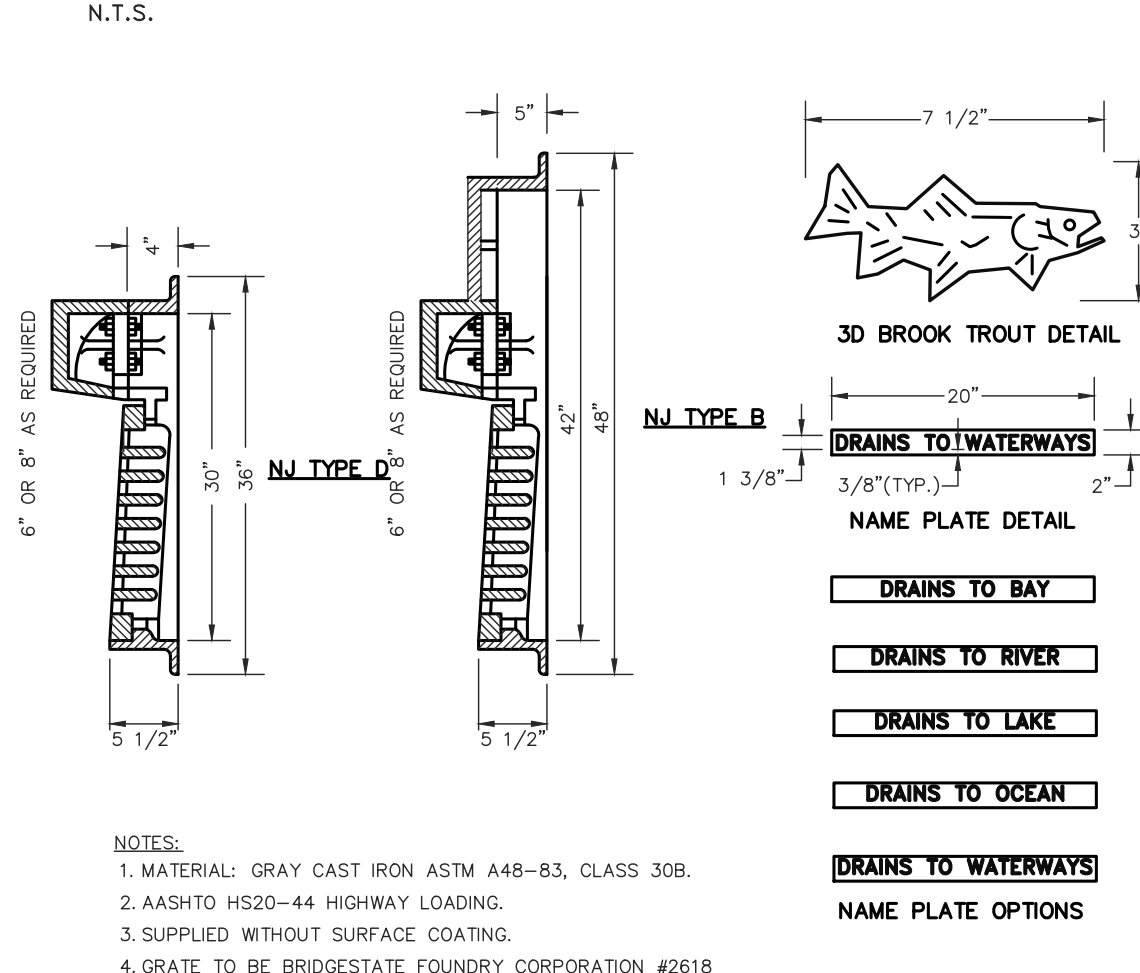
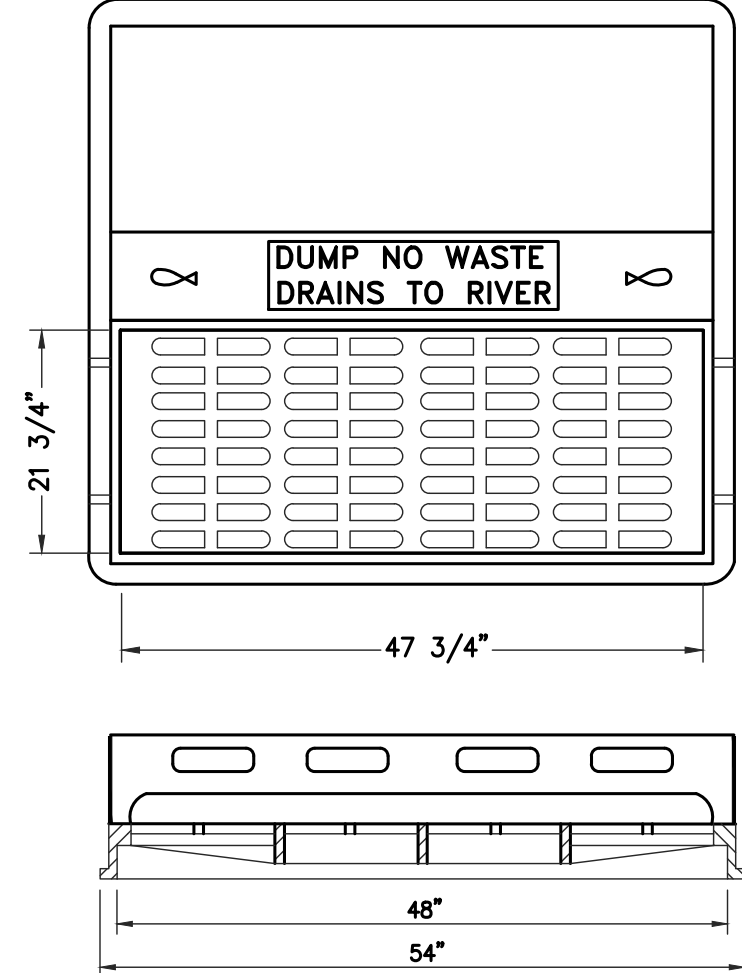
DATE: APRIL, 2021 **SHEET No.:** 8



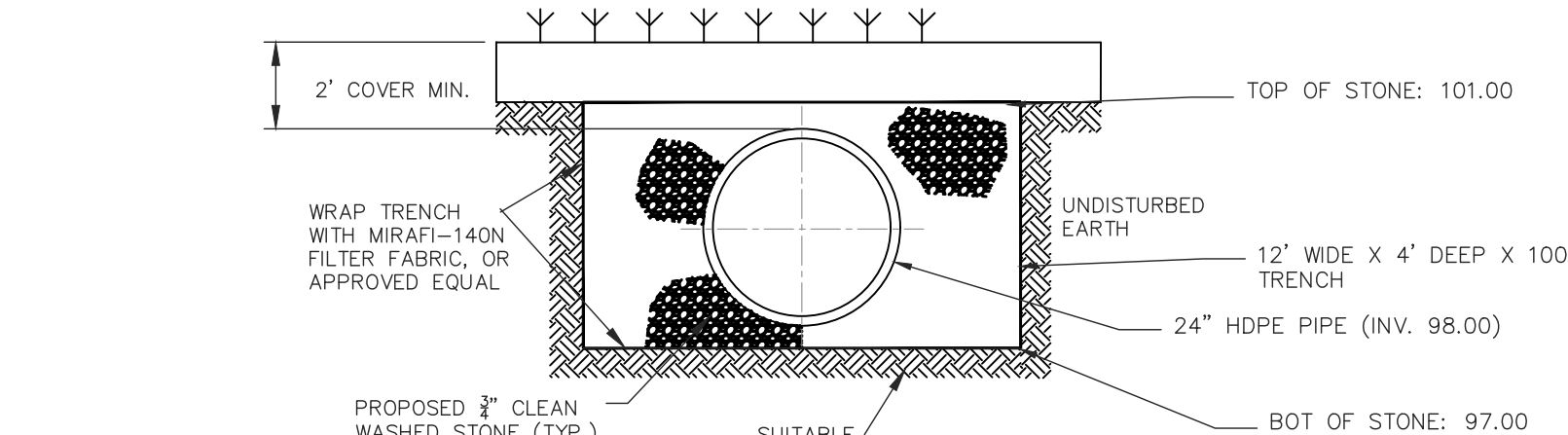
SECTION A-A

SECTION B-B

TYPE 'B' NJDOT INLET DETAIL



- NOTES:**
1. MATERIAL: GRAY CAST IRON ASTM A48-83, CLASS 308.
 2. AASHTO H520-44 HIGHWAY LOADING.
 3. SUPPLIED WITHOUT SURFACE COATING.
 4. GRATE TO BE BRIDGESTATE FOUNDRY CORPORATION #2618 OR APPROVED EQUAL.

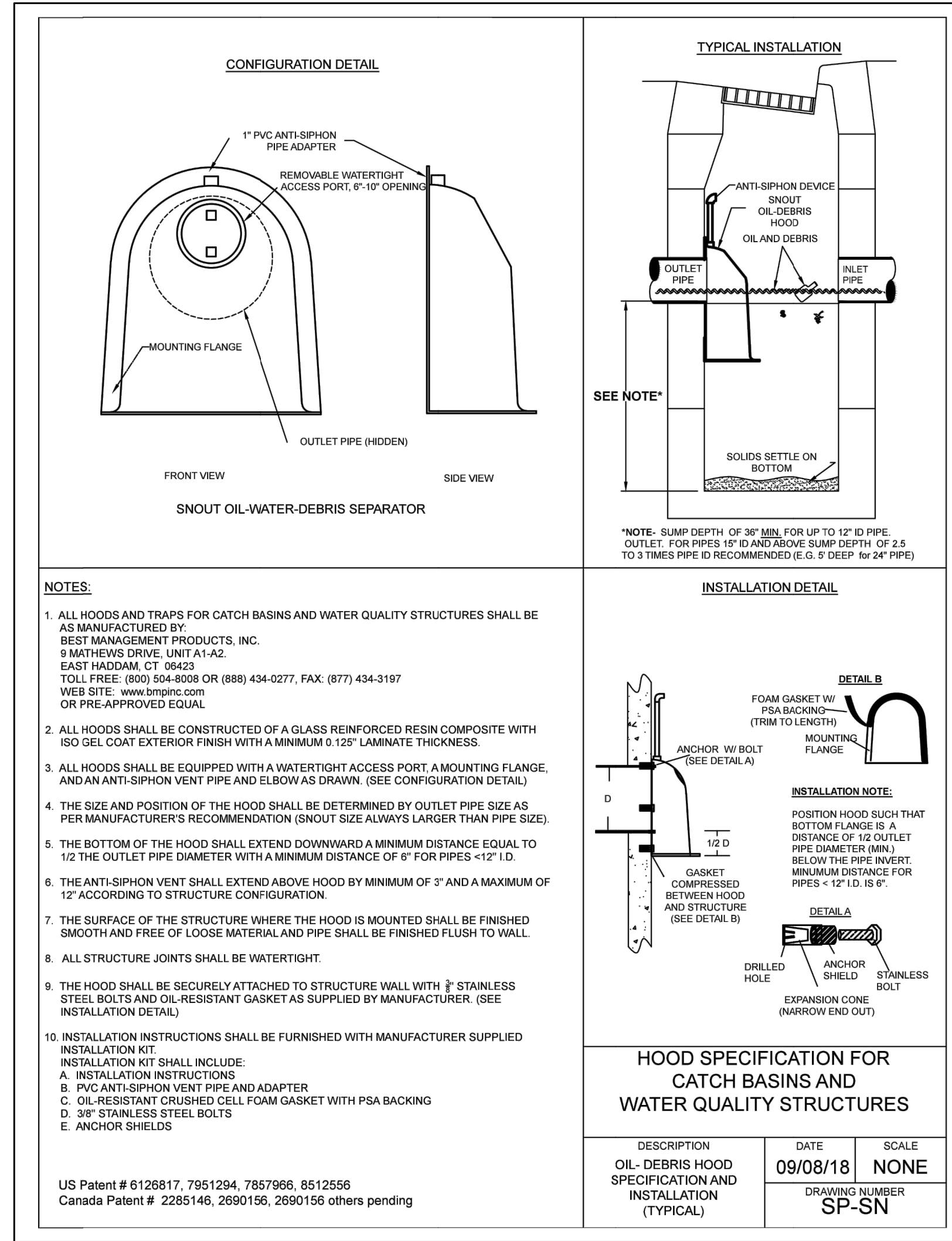


NOTES:

1. PROPOSED 3" STONE MATERIAL SHALL BE INSTALLED AS PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
4. **FILTER FABRIC:** PROPOSED FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL.
5. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
6. **BEDDING:** PROPOSED STONE BEDDING AND BE 3/4" CLEAN WASHED STONE.
7. **INITIAL BACKFILL:** 3/4" CLEAN STONE PIPE BEDDING SHALL EXTEND NO LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
8. **MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

UNDERGROUND INFILTRATION TRENCH DETAIL

N.T.S.



WATER QUALITY SNOUT

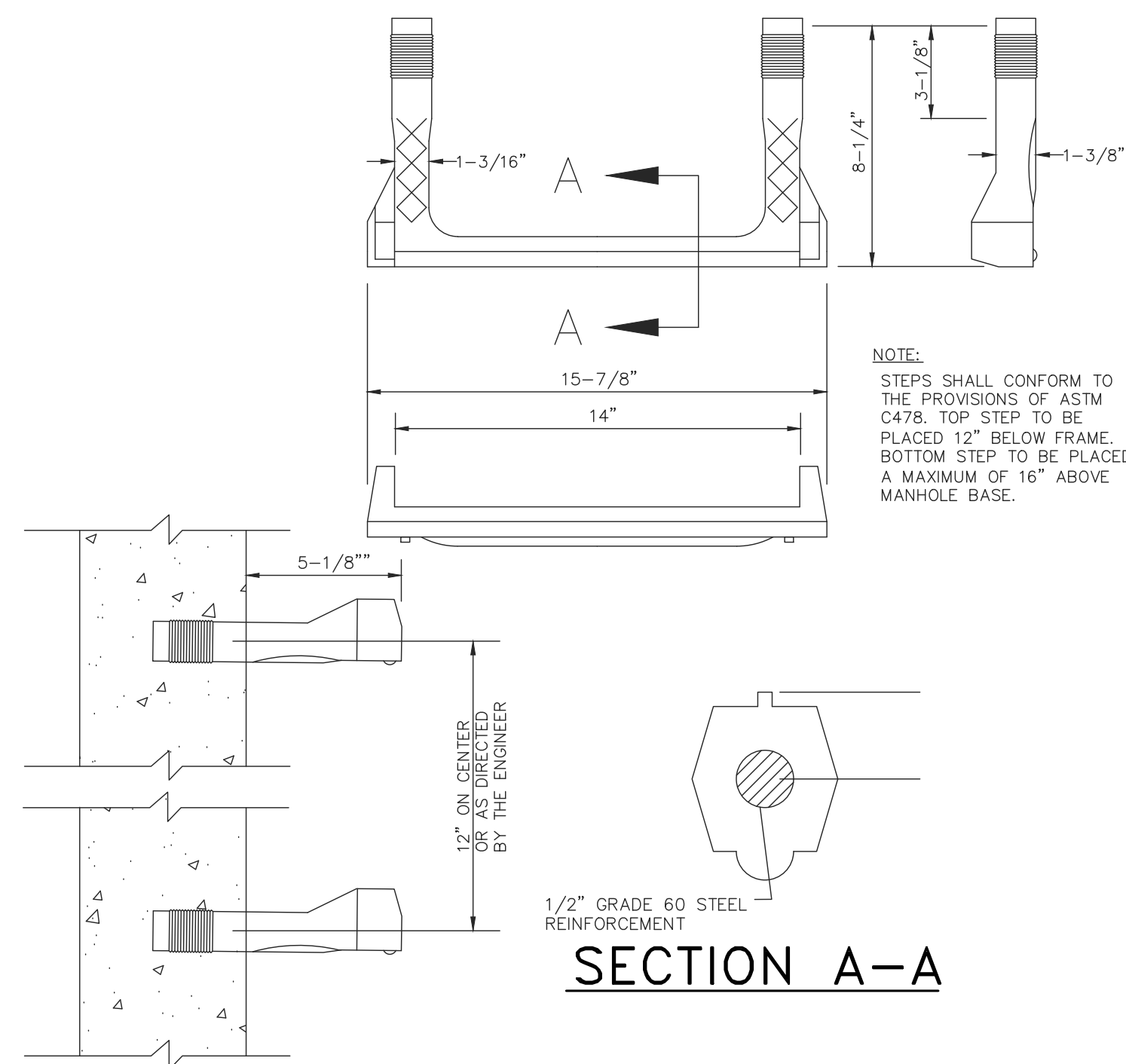
N.T.S.

MAINTENANCE NOTES

1. MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION AFTER THE SITE HAS BEEN STABILIZED.
2. MEASUREMENTS SHOULD BE TAKEN AFTER EACH RAIN EVENT OF 0.5 INCHES OR MORE, OR MONTHLY, AS DETERMINED BY LOCAL WEATHER CONDITIONS.
3. SEDIMENT DEPTH SHALL BE CHECKED DURING EACH INSPECTION.
4. SCHEDULE CLEANING BASED UPON SOLIDS COLLECTED IN THE INLET SUMP. STRUCTURE SHALL BE CLEANED WHEN SUMP IS HALF FULL.
5. CLEAN STRUCTURE IF AN ACCIDENT OR SPILL OCCURS.
6. ALL WASTE SHALL BE COLLECTED AND HANDLED AT AN APPROVED DISPOSAL FACILITY.
7. MAINTENANCE OF THE SNOUT HOOD SHALL BE CONDUCTED DURING AN ANNUAL INSPECTION OF THE ANTI-SIPHON VENT, OR A GENTLE RODDING WITH A FLEXIBLE WIRE. OPENING AND CLOSING THE HATCH ONCE A YEAR IS RECOMMENDED.

TYPE "B" BICYCLE SAFE GRATE & TYPE "N-ECO" CURB PIECE

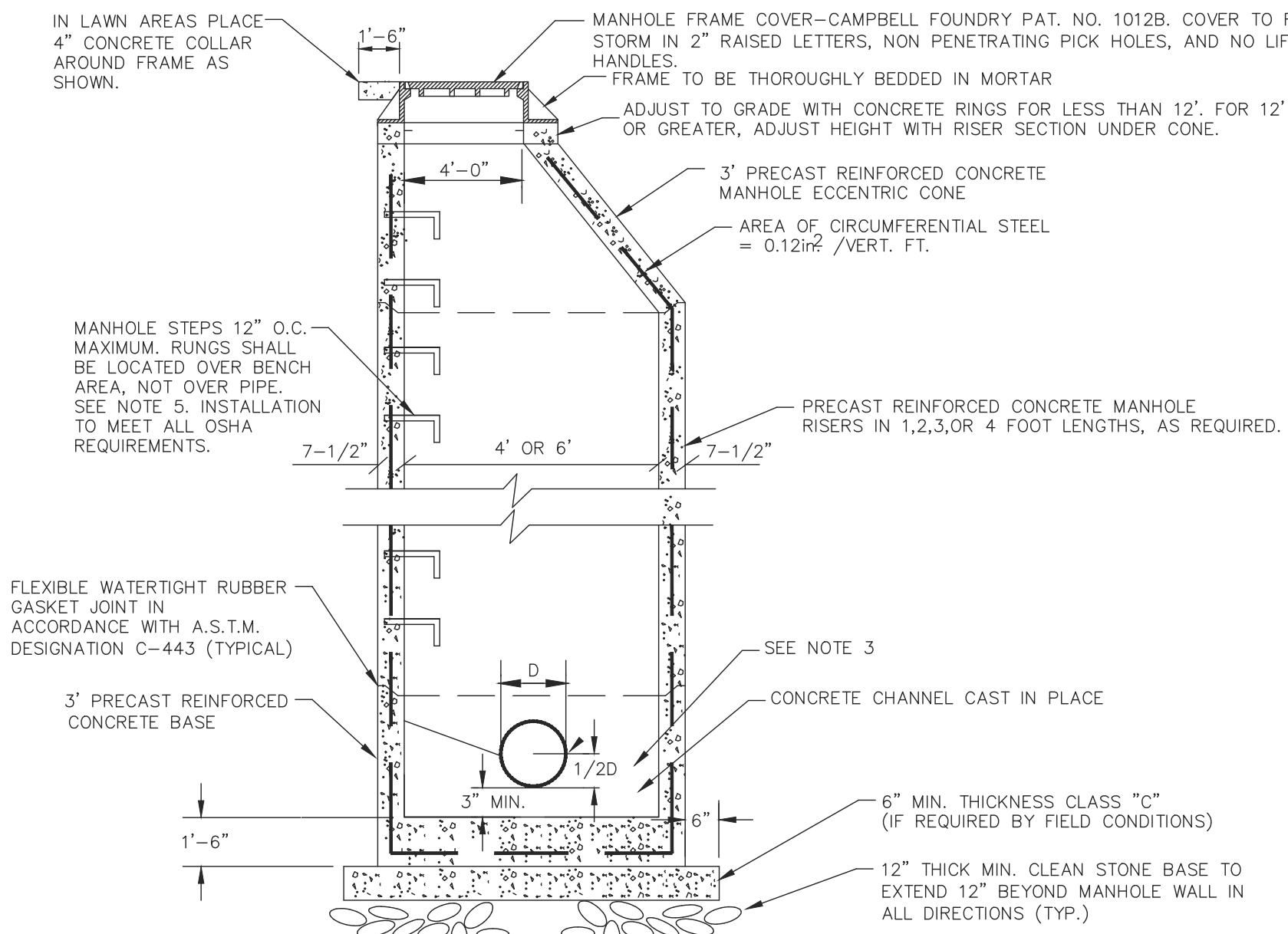
N.T.S.



SECTION A-A

COPOLYMER POLYPROPYLENE PLASTIC STEEL REINFORCED MANHOLE STEP

N.T.S.



NOTES:

1. PRECAST MANHOLE IN ACCORDANCE WITH A.S.T.M. DESIGNATION C-478, MINIMUM COMPRESSIVE STRENGTH 4000 P.S.I. (TYP). MANHOLE TO BE MANUFACTURED BY ATLANTIC CONCRETE OR APPROVED EQUAL.
2. ALL MANHOLES NOT LOCATED IN CROWN OF ROAD SHALL BE CONSTRUCTED WATERTIGHT WITHOUT THE USE OF A RUBBER GASKET. WATER TIGHTNESS MAY BE ACHIEVED BY DISH SHAPED INSERTS, WATERTIGHT CASTING, OR APPROVED EQUAL. DISH SHAPED WATERTIGHT INSERT SHALL BE SUPPLIED, TWO PER MANHOLE.
3. SMOOTH CONCRETE CHANNEL WITH DEPTH EQUAL TO 0.80 TIMES THE DIA. OF THE MAIN SEWER FOR SIZES 8" TO 15" AND 0.50 TIMES THE DIA. FOR SIZES 16" AND ABOVE. (USE CLASS C CONCRETE.)
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLOATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.
5. POLYPROPYLENE RUNGS WITH GRADE 60 STEEL REINFORCEMENT AND TEETH AND SIDE CLEATS AS MANUFACTURED BY MA INDUSTRIES. STEEL RUNGS NOT ALLOWED. FOR MANHOLES GREATER THAN 15'-0" DEEP, APPLICANT SHALL CONTACT LTMUA FOR SPECIFIC MANHOLE REQUIREMENTS. ALL OSHA REQUIREMENTS MUST BE MET.
6. ANY MANHOLE REQUIRING LINING SHALL HAVE MANHOLE RUNGS REMOVED AND HAVE A COMPOSITE LADDER INSTALLED.
7. PROVIDE WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM AS MANUFACTURED BY CANUSA-CPS AROUND FRAME AND GRADE RINGS FOR ALL MANHOLES AND AROUND ALL RISER JOINTS. INSTALLATION SHALL BE PROVIDED IN ACCORDANCE WITH ALL OF MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
8. MANHOLE FRAME SHALL BE LAID IN 1-INCH OF MORTAR AND HAVE 1-INCH MORTAR AROUND THE RIM.

1. ALL MANHOLES SHALL BE CONSTRUCTED WATERTIGHT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLOATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.

STANDARD 4' OR 6' DIAMETER PRECAST MANHOLE

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Michael Galante
DATE: 10-6-2021
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NO.	DATE	BY	REVISION

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PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:
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LYNDHURST TOWNSHIP, BERGEN COUNTY, NEW JERSEY

DRAWN BY	DESIGN BY	CHECKED BY	SCALE
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE: APRIL, 2021	SHEET No. 1		
JOB No. 2021-555			