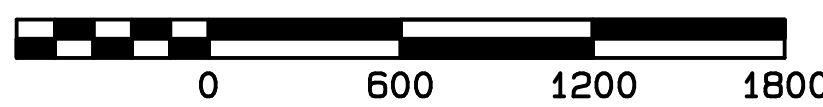


ZONING MAP

GRAPHIC SCALE 1"=600' ±



SITE PLAN NOTES:

- VERTICAL DATUM: BASED ON INFORMATION TAKEN FROM PLAN ENTITLED "PRELIMINARY/FINAL SITE PLAN OF COMMERCE PARK AT EKWINGVILLE, LOTS 58-62 IN BLOCK 105" BY HOPEWELL VALLEY ENGINEERING, P.C. DATED NOVEMBER 15, 1999.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - ALL WORK SHOWN IS TO BE DONE IN ACCORDANCE WITH NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" EDITION 2007 (THE GREEN BOOK) AND THE "TOWNSHIP CONSTRUCTION DETAILS" AS REVISED TO FEBRUARY 2007.
 - CURRENT, PREVAILING TWP. AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- WHEN DISTURBED AREAS ARE AT FINAL GRADE, THEY WILL BE STABILIZED AND FINAL LANDSCAPING WILL BE IMPLEMENTED IN ACCORDANCE TO GOOD PRACTICES.
- THE TOWNSHIP ENGINEER MAY DIRECT THE REMOVAL OF UNSUITABLE MATERIAL AND INSTALLATION OF SELECT FILL MATERIAL AND/OR SOIL STABILIZATION FABRIC.
- SOLID WASTE GENERATED DURING CONSTRUCTION IS TO BE DISPOSED OF OFF-SITE IN AN APPROPRIATE LANDFILL. ON-SITE OPEN BURNING IS PROHIBITED BY STATE AND LOCAL AIR-POLLUTION CONTROL LAWS.
- A SOIL DISTURBANCE/REMOVAL APPLICATION MUST BE SUBMITTED TO THE MERCER COUNTY SOIL CONSERVATION DISTRICT AND A PERMIT ISSUED BY SAID AGENCY PRIOR TO ANY DISTURBANCE OF SOIL OR ISSUANCE OF A BUILDING PERMIT.
- DO NOT SCALE DRAWINGS. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED HEREON IS NOT A SURVEY.
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF TOWNSHIP AND AGENCY REVIEW AND APPROVAL.
- THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION.
- TEST PITS SHALL BE DUG BY THE CONTRACTOR TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION, WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- ALL UTILITIES MUST BE CONSTRUCTED UNDERGROUND.
- THESE NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- EXISTING DAMAGED OR DETERIORATED CURB SHALL BE REMOVED & REPLACED.
- THE BANKED PARKING AND DRIVEWAY WILL BE CONSTRUCTED IF NEEDED WHEN THE BUILDING HAS DIFFERENT OWNERSHIP.
 - CONCRETE CURBING TO BE CONSTRUCTED FOR THE PARKING LOT.
 - ADA PARKING SPACE TO BE STRIPED AND HANDICAP SIGN TO BE INSTALLED.
- TRASH AND RECYCLABLES WILL BE STORED INDOORS & REMOVED ON A NEED BASIS.
- "THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (a) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON)".

SURVEY NOTES:

- THERE MAY BE VARIOUS LEDGES, PROTRUSIONS, OVERHANGS, ETC. THAT ARE NOT SHOWN OR MEASURED ALONG THESE BUILDINGS. FOR USE OTHER THAN A PICTURE FOOTPRINT ADDITIONAL DETAIL AND MEASUREMENTS MAY BE REQUIRED TO SHOW SPECIFIC CONDITIONS ALONG THAT PORTION OF THE BUILDING IN QUESTION.
- PROPERTY CORNERS FOUND OR SET AS SHOWN.
- THIS PLAN PREPARED FOR A FEE FOR THE PERSONS AND PURPOSES INDICATED HEREON. ANY OTHER USE OF THIS PLAN (OR COPIES, OR ALTERATIONS OF IT) NOT IMPRESSED WITH THE SEAL OF THE LICENSED INDIVIDUAL WHO PREPARED THIS PLAN IS NOT THE RESPONSIBILITY OF THE UNDERSIGNED.
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES AND STRUCTURES AS SHOWN HEREON HAVE BEEN LOCATED FROM PHYSICAL MARKINGS ON THE GROUND BY VARIOUS UTILITY COMPANIES. FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES OR STRUCTURES SHOWN COMPRISE ALL SUCH UNDERGROUND FEATURES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND FEATURES WHICH ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE UNDERGROUND UTILITY MARKOUT NUMBER (800-272-1000) SHALL BE CALLED.
- SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND LEASES OF RECORD, RECORDED OR UNRECORDED, AND ANY OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE, TITLE SEARCH NOT PROVIDED.
- INVESTIGATION AND DETERMINATION OF ENVIRONMENTAL FLOOD PLAIN AND SUBSURFACE CONDITIONS WERE NOT PART OF THIS PROJECT OR CONTRACT.
- HORIZONTAL DATUM: "FINAL SUBDIVISION PLAN OF COMMERCE PARK AT EKWINGVILLE, VAN NOTE HARVEY ASSOCIATES, FILED IN THE OFFICE OF THE COUNTY CLERK OF MERCER ON 8/27/86 AS MAP NO. 2749."
- VERTICAL DATUM: BASED ON INFORMATION TAKEN FROM PLAN ENTITLED "PRELIMINARY/FINAL SITE PLAN OF COMMERCE PARK AT EKWINGVILLE, LOTS 58-62 IN BLOCK 105" BY HOPEWELL VALLEY ENGINEERING, P.C. DATED NOVEMBER 15, 1999.
- DEED REFERENCE: VOLUME 5121 PAGE 144.
- ON-SITE BENCHMARK: TOP OF CATCH BASIN AT IN SPRING GARDEN AVE, ELEVATION = 98.30, AS SHOWN ON PLAN.

APPROVED BY EWING TOWNSHIP PLANNING BOARD

CHAIRPERSON	DATE
SECRETARY	DATE
DIRECTOR OF PLANNING	DATE
TOWNSHIP ENGINEER	DATE

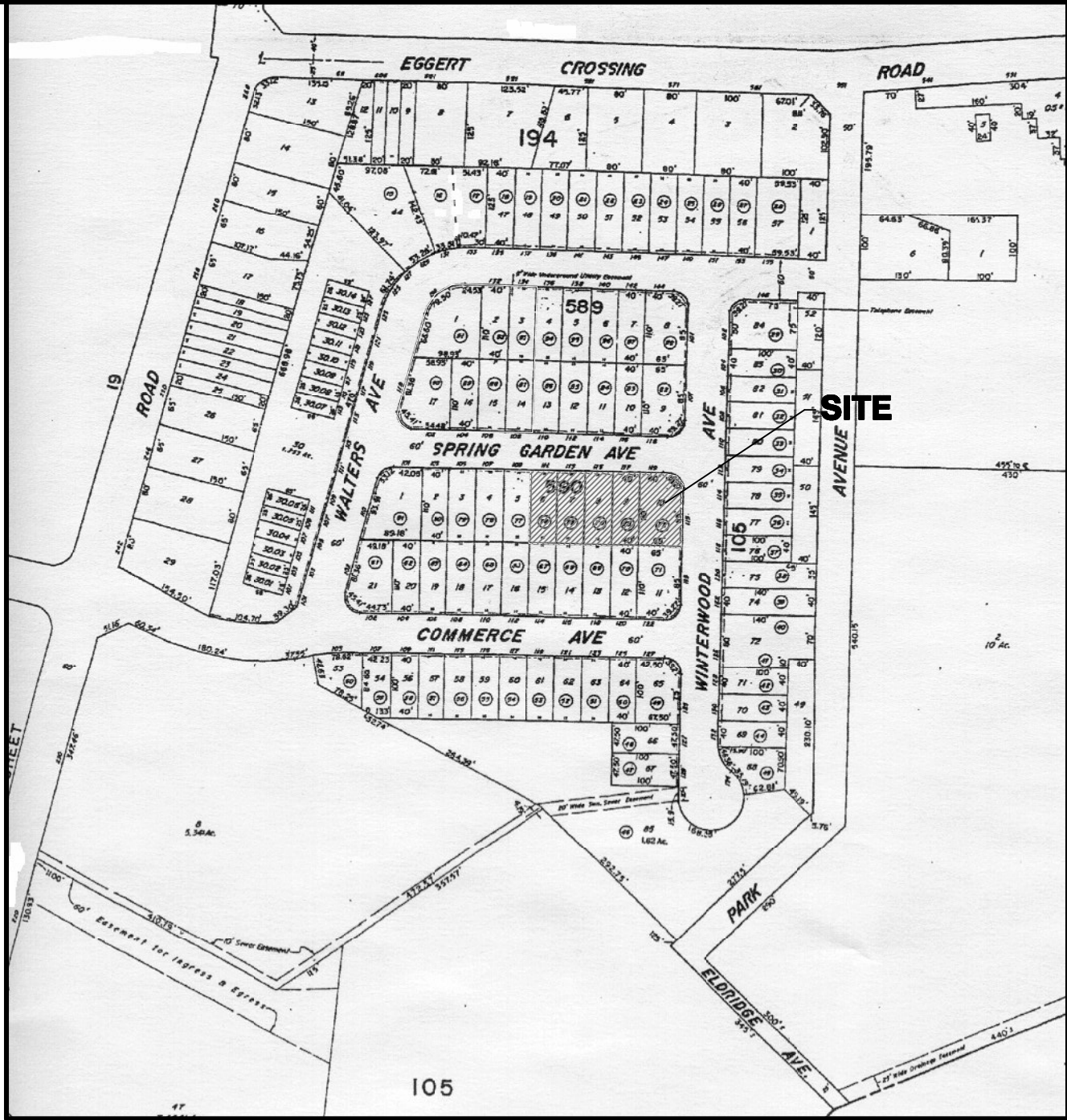
LEGEND:

MH = MANHOLE
INV = SANITARY
IN = INVERT
T = TOP OF CURB
G = GUTTER
--G-- = GAS LINES
--W-- = WATER LINES
GD BOX = GAS DRIP BOX
---S--- = SANITARY LINES
---SS--- = STORM SEWER LINES

ST = SOIL TEST
TCB = TOP OF CATCH BASIN
GR = DEPRESSED CURB
HYD = EDGE OF PAVING
DEP = GROUND
LGT = TOP OF CURB
MON = MONUMENT
WV = WATER VALVE
RCP = REINFORCED CONCRETE PIPE

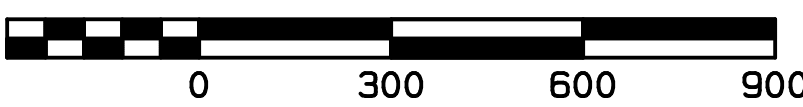
SURROUNDING OWNERS (WITHIN 200 FT.)

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
105	58-62	SCOZZARI BUILDERS INC 1851 N. OLSEN AVE EWING, NJ 08638	590	1.01, 1-2	BREGENZER PROPERTIES, LLC P.O. BOX 335 HOPEWELL, NJ 08525
105	63-64	K THIRTY LLC 125 COMMERCE AVE EWING, NJ 08638	590	3-5	EES INVESTMENTS LLC 3 KINGS COURT COLUMBUS, NJ 08022
105	72.01	G08 VERKALTUNGS GMBH 130 WINTERWOOD AVE EWING, NJ 08638	589	1.01, 12-13	BBM HOLDINGS LLC 122 WALTERS AVE EWING, NJ 08638
105	75-76	MASTRANGELI, MARIO & ANTONIO 17 NORTH ST ROBBINSVILLE, NJ 08691	589	9-11	PRO MASONRY LLC 33 ALCAZAR AVE LAWRENCEVILLE, NJ 08648
105	77.01	MUSIC ON THE MOVE, LLC 116 WINTERWOOD AVE EWING, NJ 08638	105	80-81	HEARN, ANTHONY 10 WINDSOR LANE TRENTON, NJ 08620



LOCATION MAP

GRAPHIC SCALE 1"=300' ±



ZONING SCHEDULE: INDUSTRIAL PARK (IP-3)

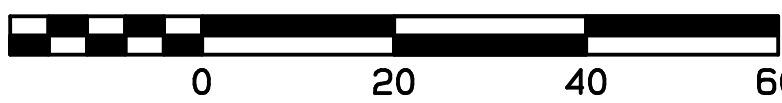
DESCRIPTIONS	REQUIRED	EXISTING LOTS 6-8	PROPOSED LOTS 6-8
PRINCIPAL BUILDING			
Minimum Lot Area	4,000 S.F.	13,200 S.F.	13,200 S.F.
Minimum Lot Frontage	40 FT.	120.0 FT	120.0 FT
Minimum Lot Width (Corner)	60 FT.	N/A	N/A
Minimum Front Yard	25 FT.	N/A	41 FT.
Minimum Side Yard	5 FT.	N/A	6 FT.
Minimum Rear Yard	5 FT.	N/A	8.0 FT.
Maximum Floor Area Ratio	N/A	N/A	N/A
Maximum Lot Coverage	80%	41%	59%
Building Coverage	50%	N/A	50%
Maximum Building Height 2 STY.	25 FT.	N/A	1 STY/25 FT
PARKING DATA			
REQUIRED			
WAREHOUSE - 1 SPACE/EMPLOYEE ON MAX. SHIFT	= 0 EMPLOYEES		0 SPACES
		TOTAL REQUIRED = 0 SPACES	

STORM WATER RUNOFF WILL BE HANDLED BY REGIONAL DETENTION BASIN

SITE DATA

LOTS 6, 7, 8
BLOCK 590 PAGE 20
EWING TOWNSHIP TAX MAPS
(LOTS 74-76 ON FILED MAP OF COMMERCE PARK AT EWINGVILLE)
TOTAL AREA = 13,200±Sq.Ft.
= 0.303±Ac.

GRAPHIC SCALE 1"=20'



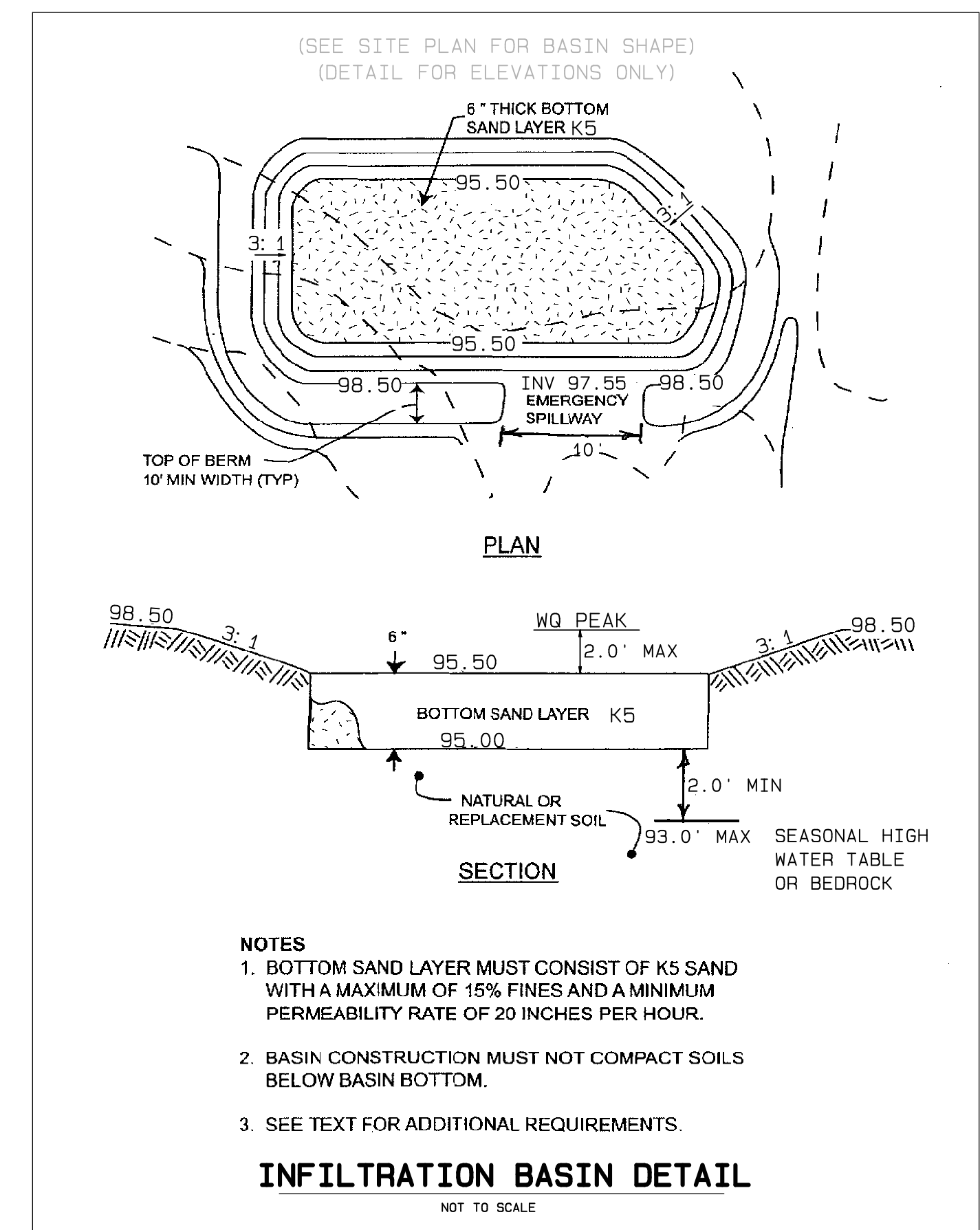
SHEET 1

		</

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-882-0616
FAX. NO. 609-882-6004
D.P. STRATTON, L.S. N.J.-27529 P.P.N.J.-5921
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR NO. 19462
2/17/21 *Joseph Mester*

SITE PLAN
of
Lots 6-8 Block 590
for
G & K Realty Assoc, LLC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE OF AUTHORIZATION NO.		20420800000
TAX MAP DATA		
LOT	BLOCK	PAGE
6-8	590	20
DATE	11/25/19	
INV.	44497	
DRAWN BY: BDS		
SCALE	1"=20'	
FB.	PG.	
FILE	106-13	



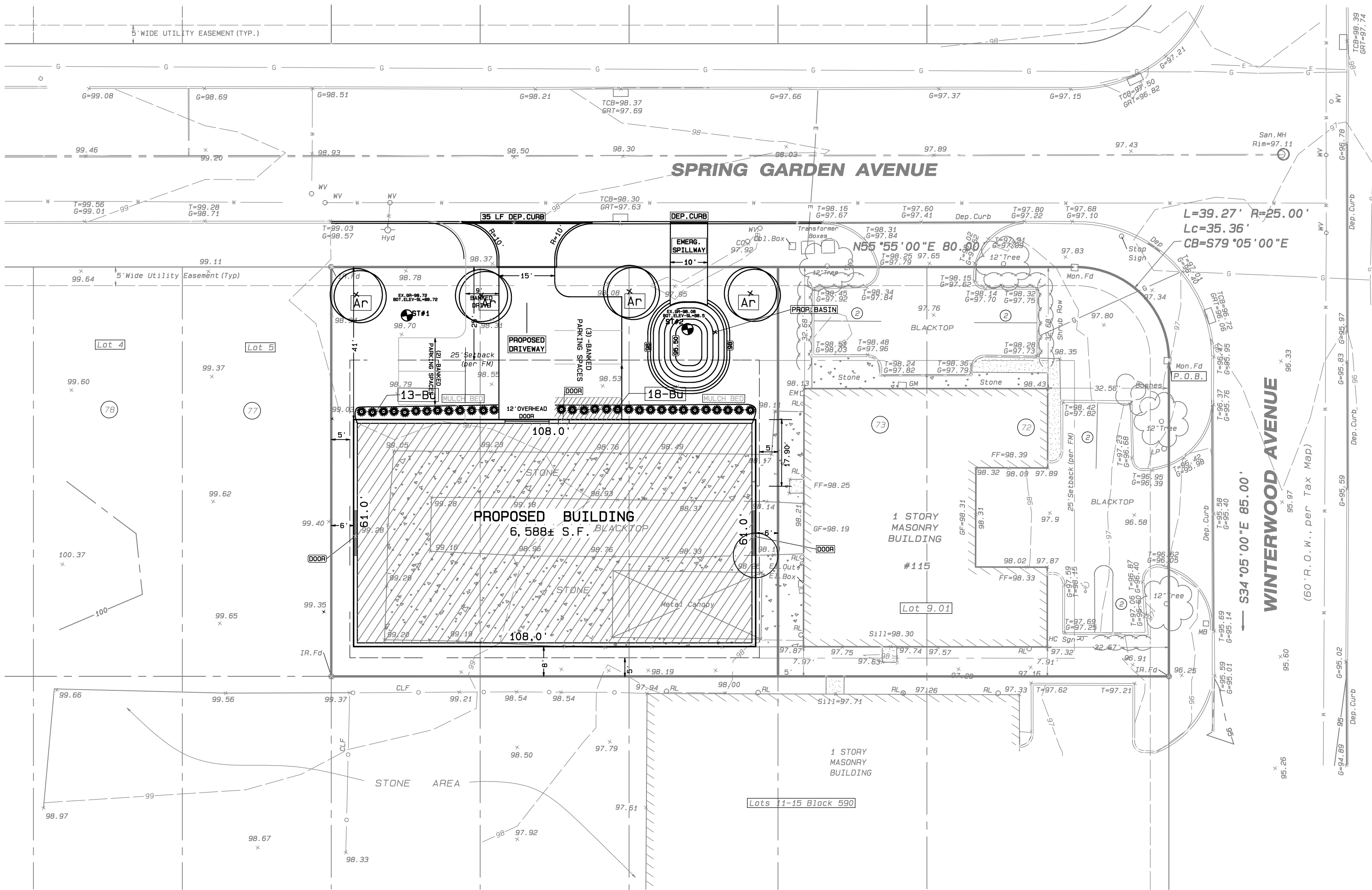
SHEET 2

MH	=	MANHOLE	ST	=	SOIL TEST
SAN	=	SANITARY	TCB	=	TOP OF CATCH BASIN
INV	=	INVERT	GR	=	DEPRESSED CURB
T	=	TOP OF CURB	HYD	=	EDGE OF PAVING
G	=	GUTTER	DEP	=	GROUND
--G--	=	GAS LINES	LGT	=	TOP OF CURB
--W--	=	WATER LINES	MON	=	MONUMENT
GD BOX	=	GAS DRIP BOX	WV	=	WATER VALVE
====	=	SANITARY LINES	RCP	=	REINFORCED CONCRETE
=====	=	STORM SEWER LINES			PIPE

DATE 11/27/19 Joseph Masto

GRADING PLAN
of
Lots 6-8 Block 590
for
G & K Realty Assoc, LLC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

CERTIFICATE OF AUTHORIZATION NO.		24G428052600
TAX MAP DATA		
LOT	BLOCK	PAGE
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DATE		11/25/19
INV.		44497
DRAWN BY: BDS		
SCALE		1"=20'
FB.	PG.	
FILE		106-13



LANDSCAPE MAINTENANCE NOTES:

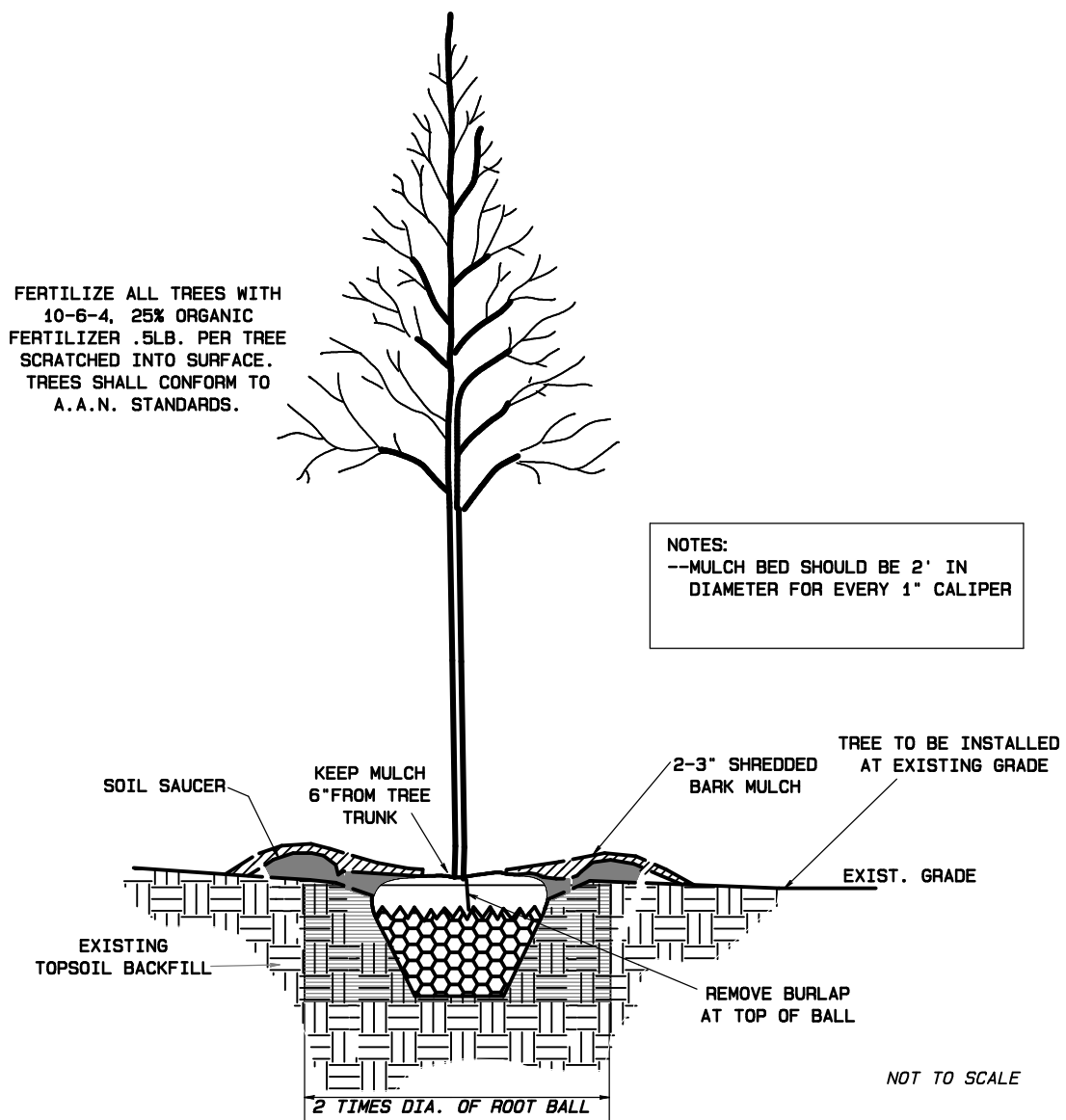
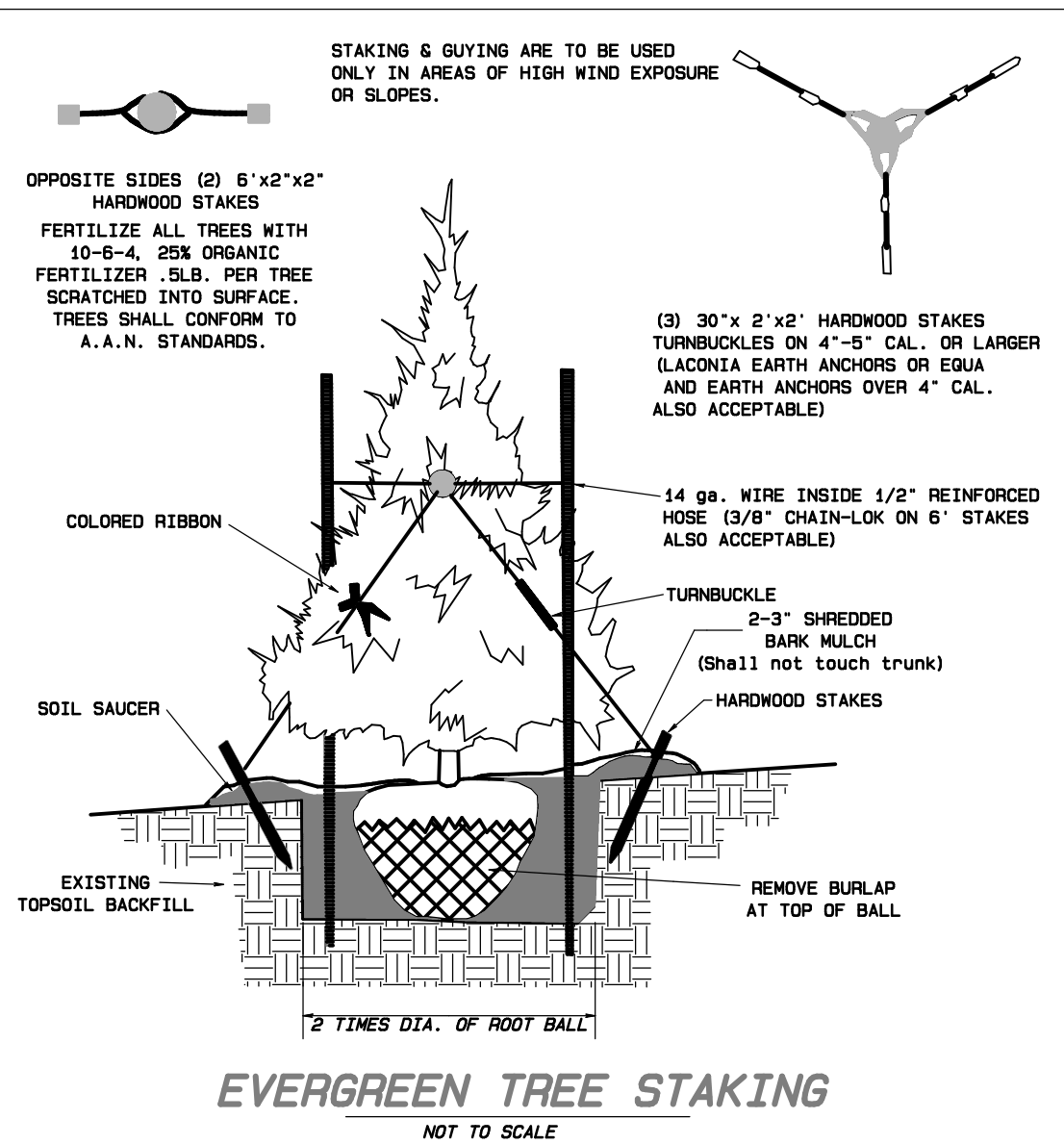
- ALL LAWN SHALL BE MAINTAINED AT A MOWN HEIGHT OF 2.5-3 INCHES. THE CUT SHALL NOT REMOVE MORE THAN 1/3 OF THE BLADE HEIGHT. THEREFORE LAWN SHALL BE MOWN WHEN THEY ACHIEVE A HEIGHT OF 3.5-4 INCHES. LIME, FERTILIZER AND OTHER SOIL AMENDMENTS SHALL BE APPLIED AT REGULAR INTERVALS BASED UPON SOIL TESTS AND RECOMMENDATIONS FROM A CERTIFIED SOIL TESTING LAB. SUCH SOIL TESTS SHALL BE PERFORMED ONCE A YEAR IN EARLY MARCH. AT LARGER SITES SEVERAL SOIL SAMPLES AND TESTS SHALL BE TAKEN FOR THE VARIOUS AREAS OF THE SITE. ALL APPLICATIONS SHALL BE MADE BY TRAINED AND LICENSED PERSONNEL IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND NOTICE.
- ALL PLANTING BEDS SHALL BE EDGED (3"-4" DEEP AND WIDE V-GROVE EDGE BETWEEN TURF AND MULCH BEDS) AND MULCH REPLENISHED AS NECESSARY TO MAINTAIN A 1 TO 3 INCH DEPTH OF MULCH UNLESS THE GROUND COVER OR PLANTING HAS COMPLETELY COVERED THE BED, PRECLUDING THE NEED FOR MULCH. ALL BEDS SHALL BE MAINTAINED FREE OF WEEDS.
- ALL PLANTS SHALL BE PERIODICALLY PRUNED FREE OF DEAD, DAMAGED OR DISEASED BRANCHES TO MAINTAIN THE VIGOR OF THE PLANT AND MAINTAIN A SAFE CONDITION. PRUNING SHALL MAINTAIN THE NATURAL FORM OR HABIT OF THE PLANT UNLESS A FORMAL HEDGE HAS BEEN SPECIFIED BY THE LANDSCAPE ARCHITECT. FLOWERING SHRUBS AND TREES SHOULD BE PRUNED AFTER FLOWERING TO LIMIT IMPACT UPON FOLLOWING SEASON FLOWER BUDS UNLESS SAFETY CONCERNS WARRANT IMMEDIATE PRUNING. HEDGES SHALL BE SHEARED TO A TRAPEZOIDAL FORM TO PREVENT SHADING OF LOWER BRANCHES.
- ALL PLANTS AND LAWN AREAS SHALL BE IRRIGATED OR WATERED AS NECESSARY TO MAINTAIN VIGOROUS AND HEALTH GROWTH. IF AN AUTOMATIC SYSTEM IS SPECIFIED OR REQUIRED THAT THE SYSTEM SHALL BE PERIODICALLY CHECKED AND ADJUSTED TO ASSURE PROPER APPLICATION.
- HERBICIDES AND PESTICIDES SHALL BE APPLIED ONLY AS NECESSARY TO TREAT SPECIFIC PROBLEMS AS THEY ARE OBSERVED. ALL TREATMENTS SHALL BE PERFORMED BY TRAINED AND LICENSED PERSONNEL IN ACCORDANCE WITH ALL REGULATIONS.
- SEASONAL PLANTING BEDS SHALL BE PLANTED IN SPRING AND SUMMER AS SPECIFIED. PERENNIAL VEGETATION SHALL BE REMOVED AS APPROPRIATE IN THE FALL AND ORNAMENTAL GRASSES SHALL BE CUT IN THE SPRING TO PROMOTE PROPER GROWTH AND CLEAN APPEARANCE, BUT NOT DIMINISH THEIR WINTER INTEREST.
- ALL PAVEMENTS SHALL BE MAINTAINED AND FREE OF LITTER, GRASS, STAINS, SNOW AND ICE, DEBRIS, LEAVES, BRANCHES AND FRUIT. BENCHES AND STREET FURNISHINGS SHOULD BE PERIODICALLY CLEANED. DEBRIS, LEAVES AND BRANCHES SHALL BE REMOVED FROM ALL STORM WATER GRATES, CHANNELS AND APRONS. IF PREVIOUS (REDHAR) PAVEMENTS IS PRESENT ON THE SITE THEN SAND SHALL NOT BE UTILIZED TO TREAT ICE CONDITIONS.
- PLANTINGS WHICH ARE NOT GROWING IN A VIGOROUS MANNER AND ANY DEAD PLANTS SHALL BE REPLACED AS NECESSARY TO ACHIEVE THE INTENDED DESIGN DURING THE NEXT SPRING OR FALL PLANTING SEASON.
- HOSE BIBS SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING AND SHALL BE AVAILABLE TO WATER PLANTINGS AS NEEDED. AT LEAST ONE (1") OF WATER PER WEEK FOR EACH NEW PLANT IS REQUIRED.

PLANTING NOTES

- PLANT MATERIALS SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN-UP.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVING NORMAL GROWTH HABITS; WELL DEVELOPED SYMMETRICAL OR BALANCED BRANCHES AND HABIT; DENSE FOLIAGE; VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES. UNLESS OTHERWISE SPECIFIED TREES SHALL BE SINGLE TRUNK WITH A SINGLE LEADER. STREET TREES, PARKING LOT TREES AND TREES ALONG WALKS SHALL BE PRUNED OF ANY BRANCHES WHICH MAY INTERFERE WITH PEDESTRIANS, VEHICLES AND TRAFFIC SIGNS.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, INCLUDING ROOT SIZE, SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60 (MOST RECENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK OUTS AND COMPLIANCE WITH ALL FEDERAL, STATE OR LOCAL CODES, LAWS, ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE MULCH RINGS OR BEDS DURING CONSTRUCTION AND THE MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON FOR REPLACEMENT OF DEAD OR DECLINING PLANTS.
- ALL PLANTS SHALL BE PLANTED IN AN APPROVED BACKFILL MIXTURE THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARE AND BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. NOTE: WIRE BASKETS, IF PRESENT, SHALL BE COMPLETELY REMOVED.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE.
- ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT, AT SUCH A LEVEL THAT, AFTER SETTLEMENT, A NORMAL RELATIONSHIP BETWEEN THE CROWN OF THE ROOT BALL AND THE GROUND SURFACE WILL BE ESTABLISHED. ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PLANTING PITS.
- ALL INJURED ROOTS SHALL BE PRUNED PRIOR TO PLANTING. PRUNING BRANCHES WHICH CROSS THE CENTRAL LEADER OF TREES SHOULD NOT BE CUT. LONG SIDE BRANCHES SHOULD BE SHORTENED. ALL PRUNING TO CONFORM TO N.J. BOARD OF TREE EXPERTS "PRUNING STANDARDS FOR SHADE TREES".
- TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FOLLOWING FALL AND SPRING SEASONS:

SEASON	PERIOD	PLANT TYPE
FALL	AUGUST 15-DECEMBER 15	EVERGREEN TREES
FALL	OCTOBER 15-DECEMBER 15	DECIDUOUS TREES
SPRING	MARCH 1-MAY 15	ALL PLANTS
- ALL EXISTING TREES AND SHRUBS SHALL REMAIN UNLESS OTHERWISE NOTED.

PERMANENT SEED MIX FOR LAWN AREAS:
60% - HARD FESCUE
20% - CREEPING RED FESCUE
10% - PERENIAL RYEGRASS
5% - KENTUCKY BLUEGRASS



SHRUB PLANTING DETAIL

(NOT TO SCALE)
MIN. SIZE 2" HEIGHT

NOTE:
THERE ARE NO TREES OR SHRUBS
EXISTING ON THE SITE

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	CAL	HT	SP	ROOT	REMARKS
Ar	4	ACER RUBRUM 'October Glory'	OCTOBER GLORY RED MAPLE	3-3.5"	--	--	BB	--
Bu	31	BUXUS 'WINTER GEM'	WINTER GEM BOXWOOD	--	18-24"	--	CONT.	36" OC

PROPOSED LANDSCAPE PLAN	TRENTON ENGINEERING CO., INC.
LOTS 6-8, BLOCK 590	2193 SPRUCE STREET DE STRATON 27523 & 5021
EWING TOWNSHIP TAX MAP	TRENTON 1108638 JOSEPH MESTER 19462
G & K REALTY ASSOC. LLC	KIEFER LANDSCAPE & ILL.
EWING TOWNSHIP	MATTHEW C. KIEFER CUA 1500304
MERCER CO., NEW JERSEY	NOVEMBER 25, 2019

No.	Date	Description
1	11/25/19	JOSEPH MESTER

TRENTON ENGINEERING CO., INC.
PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS
ESTABLISHED 1907
2193 SPRUCE STREET TRENTON, N.J. 08638
TEL. NO. 609-882-0616
FAX. NO. 609-882-6004
D.P. STRATTON, L.S. N.J.-27523 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR No. 19462

LANDSCAPE/LIGHTING PLAN

of
Lots 6-8 Block 590

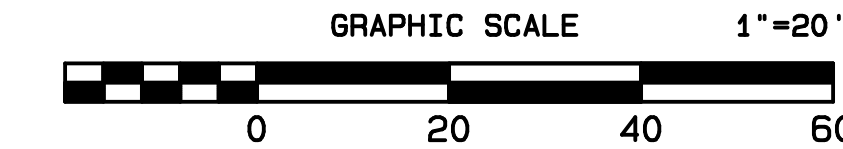
for
G & K Realty Assoc. LLC

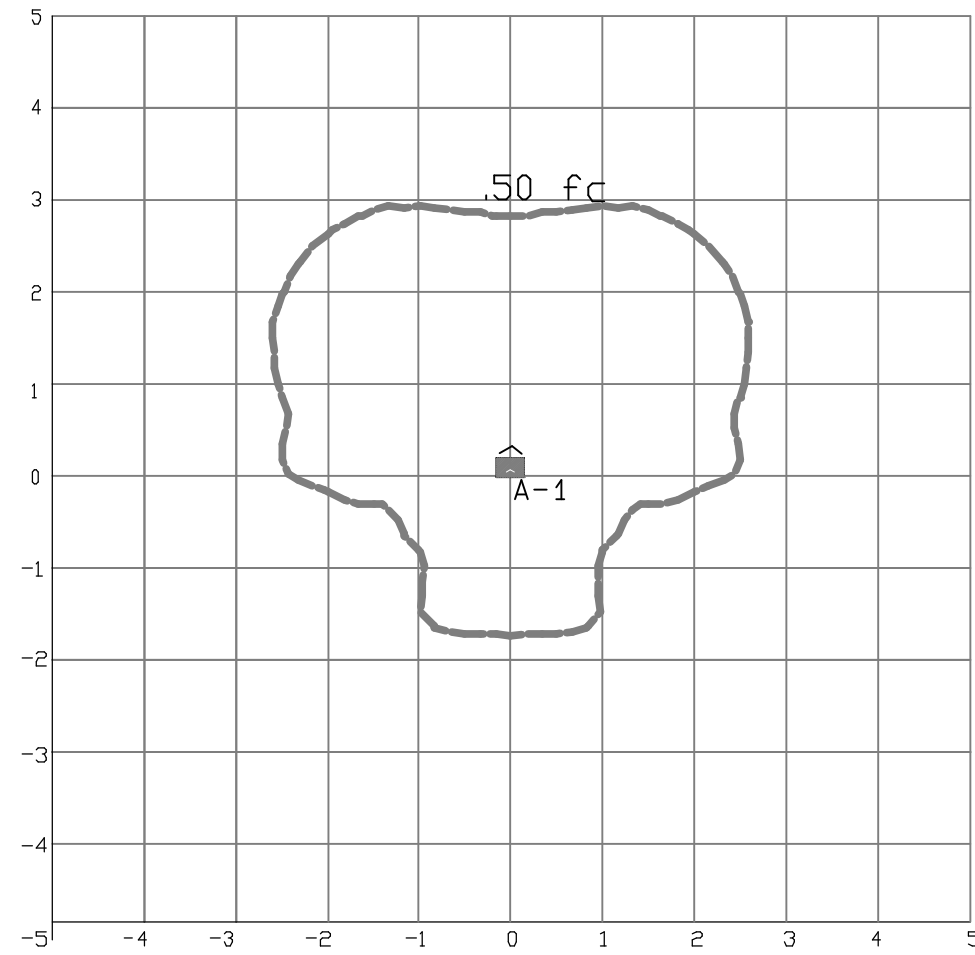
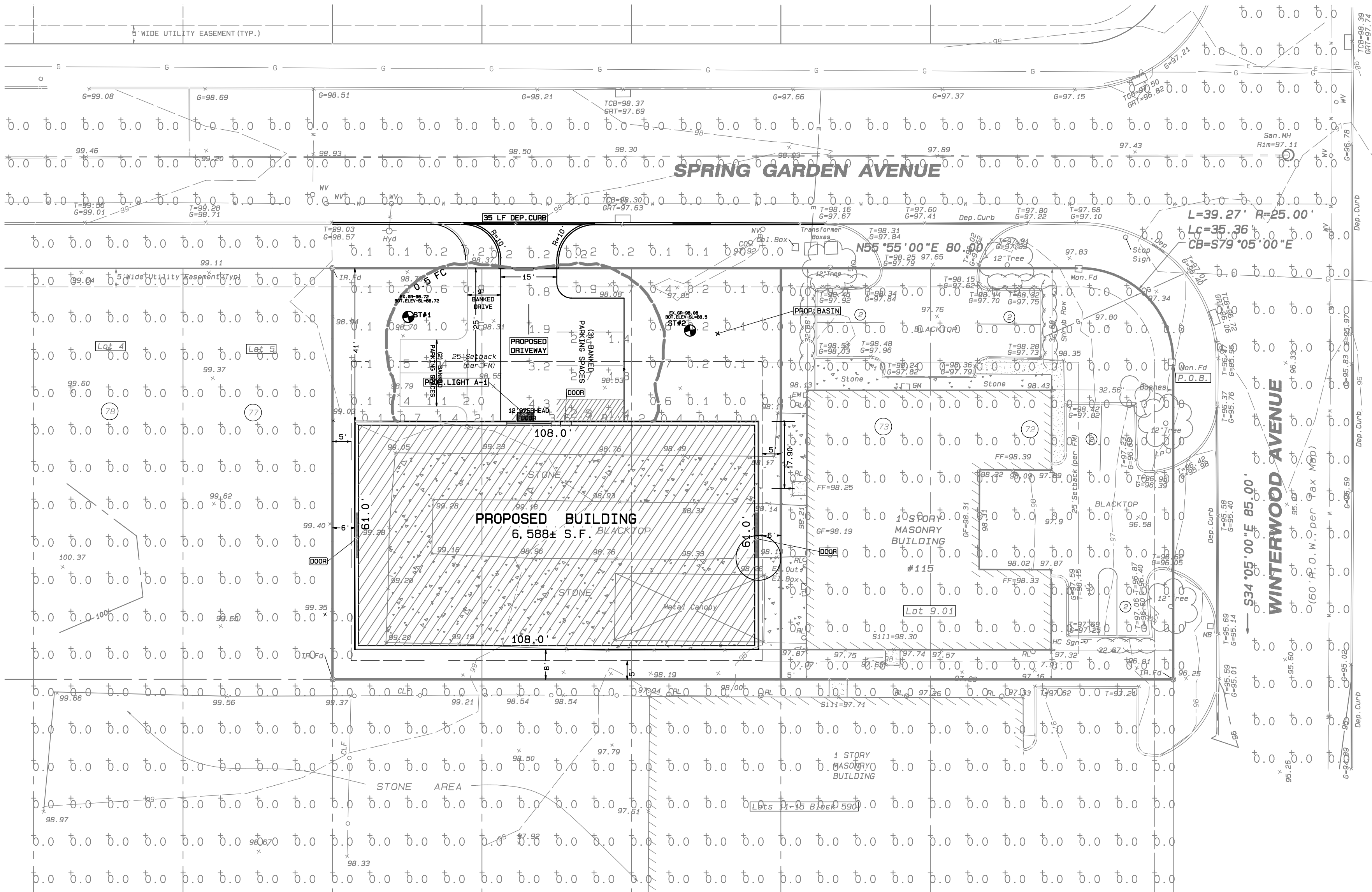
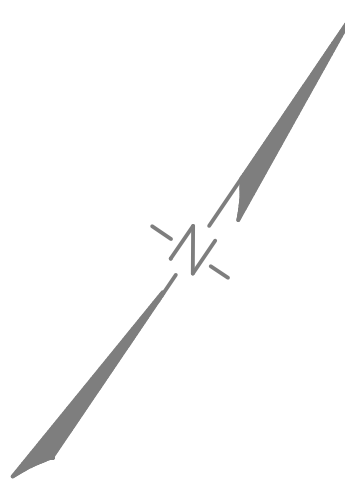
in
TOWNSHIP OF EWING

MERCER CO., NEW JERSEY

SHEET 3

CERTIFICATE OF AUTHORIZATION NO.		24624800260
TAX MAP DATA		
LOT	BLOCK	PAGE
6-8	590	20
DATE 11/25/19		
INV. 44497		
DRAWN BY: BDS		
SCALE 1"=20'		
FB. PG.		
FILE 106-13		





A.
Holophane Lighting
"Wallpack Full Cut-Off LED"
P30 LED Performance
71 W LED
4000K CCT
Type TFTM Forward
Throw Flat Optics
Single
14 ft Wall Mount
Height

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor
	A	1	Holophane	HLWPC2 P30 50K XX TFTM SINGLE WALL MOUNT 14 FT WALL MOUNT HEIGHT	Wallpack Full Cutoff LED, LED Performance Package P30, 5000 series CCT , Voltage, Forward Throw Medium	LED	1	8190	0.85

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Bldg Site	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Adjacent Properties	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Bldg Frontage	+	0.4 fc	2.3 fc	0.0 fc	N/A	N/A
Driveway	+	1.5 fc	4.3 fc	0.2 fc	21.5:1	7.5:1
Parking	+	2.0 fc	2.7 fc	1.4 fc	1.9:1	1.4:1
Spring Garden Ave	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Winterwood Ave	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A



HLWPC2

Wallpack* Full Cutoff LED



Catalog Number	Qty
HLWPC2	1

Mechanical

- Heavy grade 3003 cast aluminum (aluminum with <1% copper)
- Exterior parts are protected by zinc anodized Super Durable 50K minimum grade zinc finish that provides superior resistance to corrosion and weathering
- Mounts to standard junction box
- Swivel kit for pendant mount applications mounts to 4" square electrical box
- Wet location listed
- IP65 (dust and water) resistant
- "N" painted Breaker entry (N = 14AWG) on each side and on the single "N" and "L" cables
- "N" Breaker plugs are provided on each side
- Wiring entry for standard mount is 1/2"
- Wiring entry for pendant mount is 1/2"
- Wiring entry for pendant mount is 1/2"
- Wiring entry for pendant mount is 1/2"

Electrical

- Certified by UL in Class
- Rated for AC/DC, 48V, minimum ambient
- A programmable electronic driver with 0.1W cool-down
- Available in 120-277V/50/60 Hz and 60-480V/50/60 Hz
- Standard LED chip same as minimum of 70 CR available in 1000, 4000K and 5000K
- Optional LED chip same as minimum of 90 CR available in 1000, 4000K and 5000K
- Anchor LED option shall include cooling length and no pleather control under 1/2" wall hole listed
- Internally mounted emergency battery backup operation in ambient temperature range from 32°F to 104°F (0°C to 40°C)
- 3870, available with PFC (Power Factor Correction) performance packages, see UL listing
- The electrical system for a single circuit shall be designed to meet NFPA 70E 480V and includes a 200V FMA (Standard) with an optional 100V/54V surge protection

Optical

- The light engine housing is 100% rated. The optical system consists of the following (L.S. distribution):
- Light Engine, Microchannel, 1/2" diameter, 1/2" wide
- Asymmetric

Controls

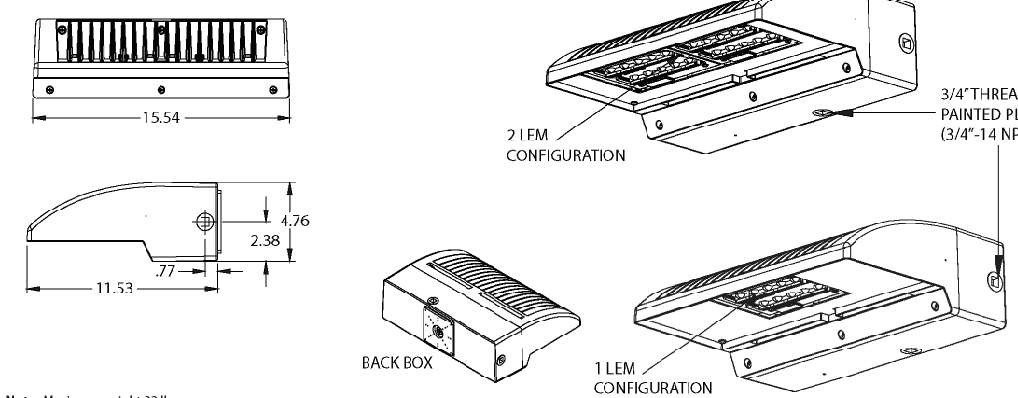
- Field addressable output (AO)
- Button type photocontrol (PS)
- Motion sensor & ambient photocontrol contribution for mounting from 10' (3.05m) and high (3' 30" (0.91m)) mounting heights

Certification and Standards

- Compliance with UL 1004 or UL listed per CSA luminaires standard CSA
- Suitable for operation in an ambient temperature up to 104°F (40°C) on CSA certification
- Design Light Emitting Diode (LED) qualified product. Not all versions of this product may be UL certified. Please check the UL Qualified Products List at www.ul.com or go to www.holophane.com to confirm which versions are qualified.
- UL 706 compliant
- The program 120V Lumen Maintenance shall be based only on UL 1640 and IESNA E-17

Warranty

- 3-year limited warranty. Complete warranty terms located at: www.holophane.com/CustomerResources/Terms_and_Warranty.asp
- Note: Actual performance may differ as a result of end user environment and application
- All values are design or typical values, measure under laboratory conditions at 25 °C
- Specifications subject to change without notice.

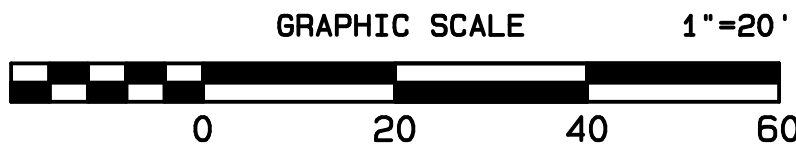


Note: Minimum weight 22 lbs.

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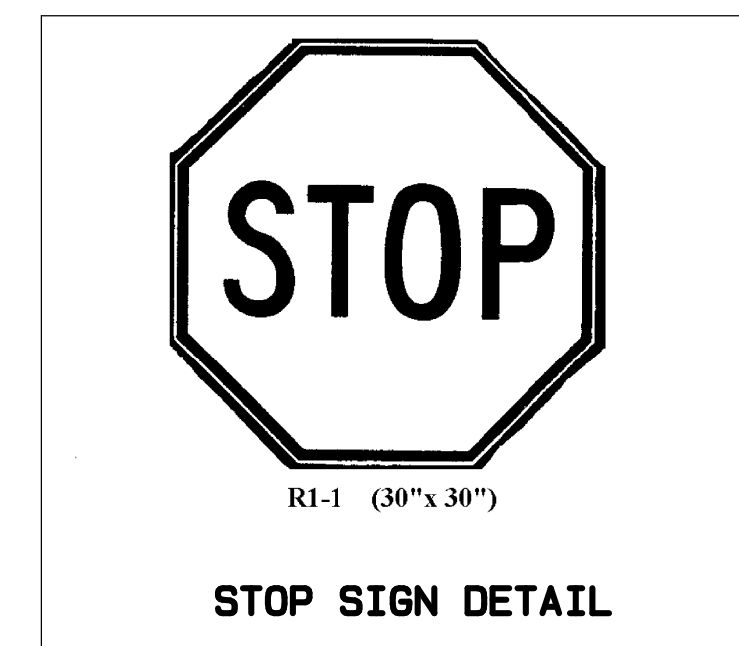
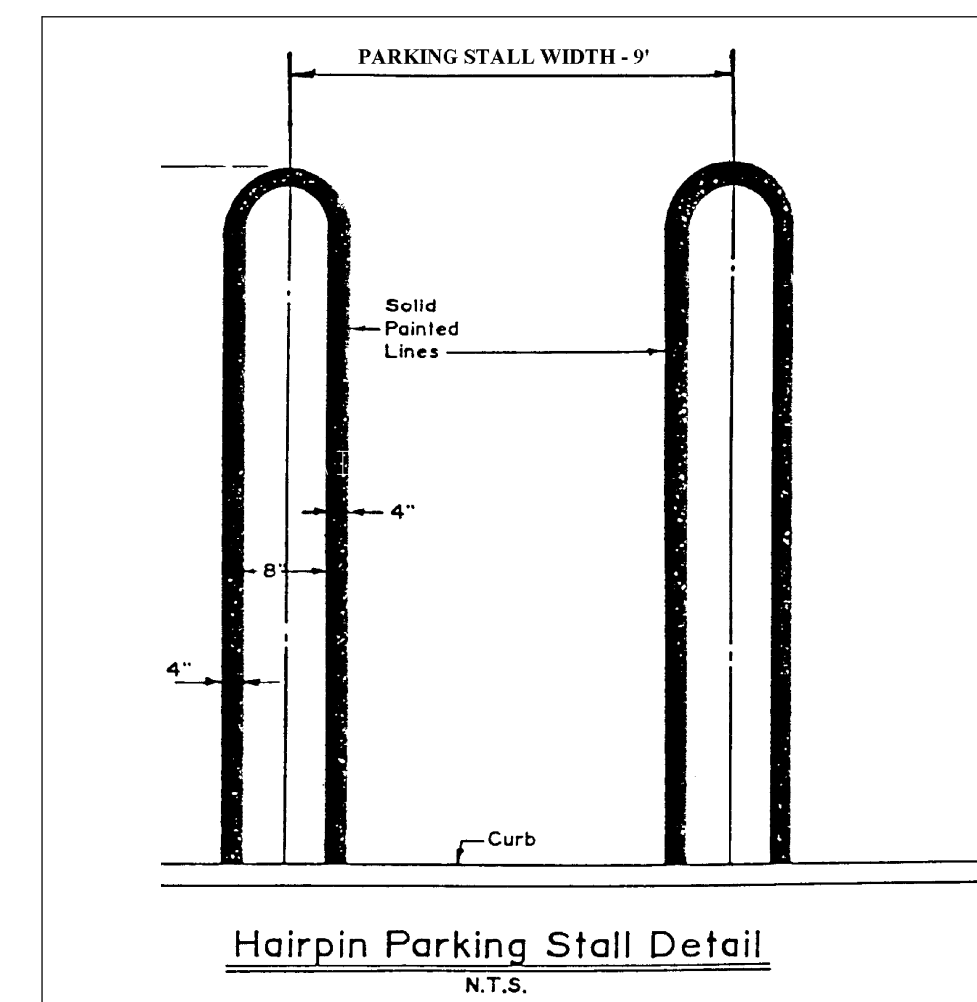
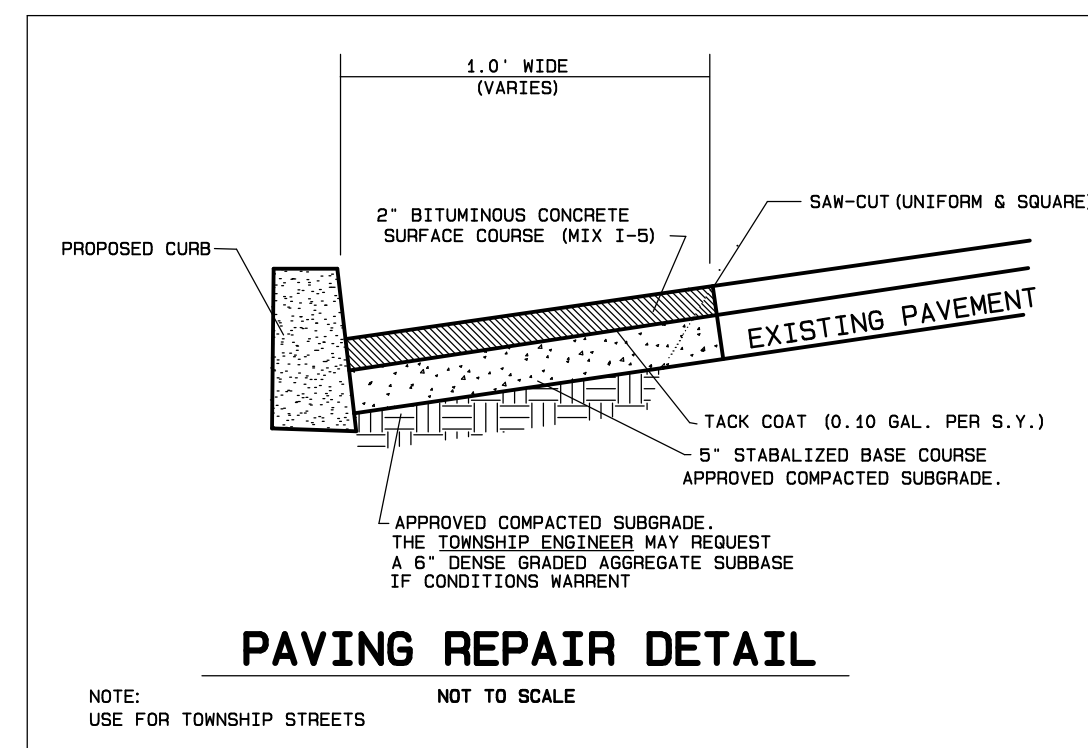
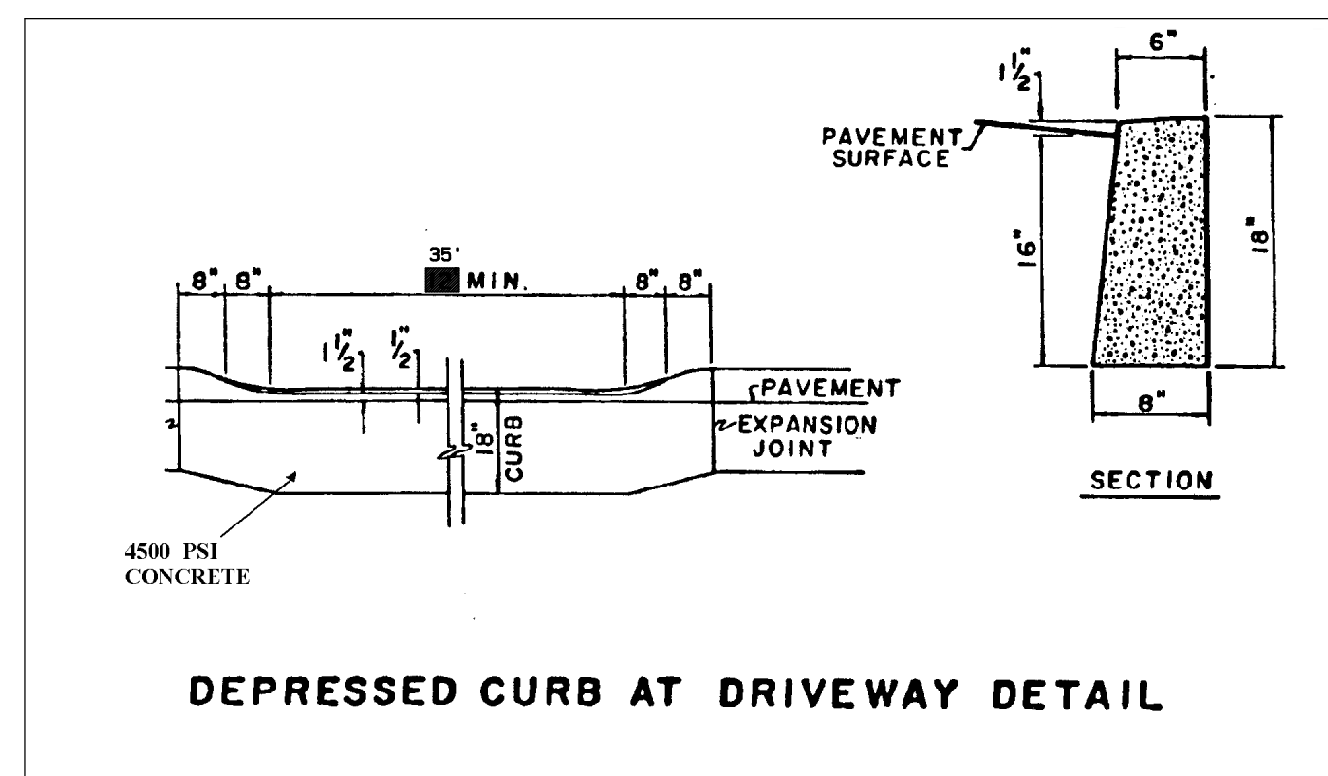
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HLWPC2
Page 1 of 3

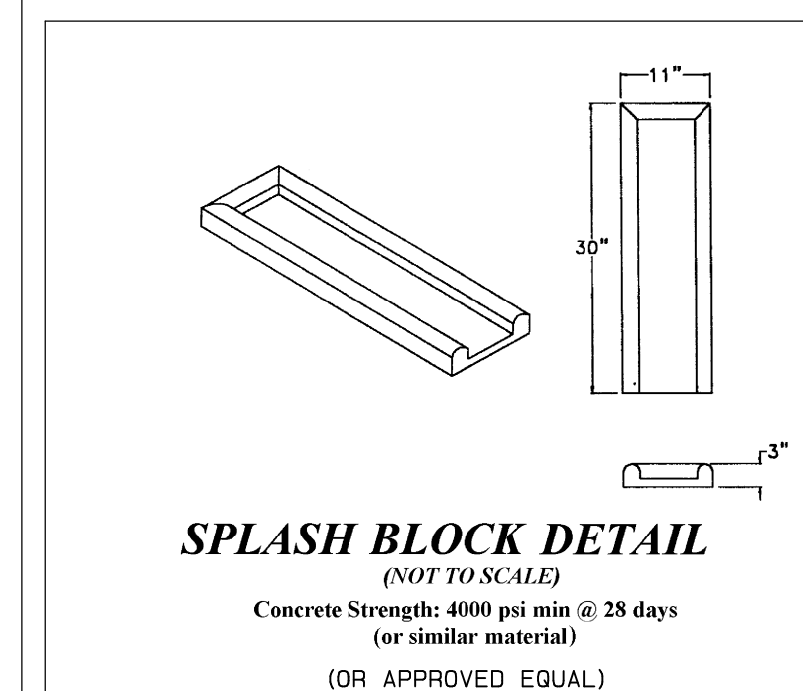
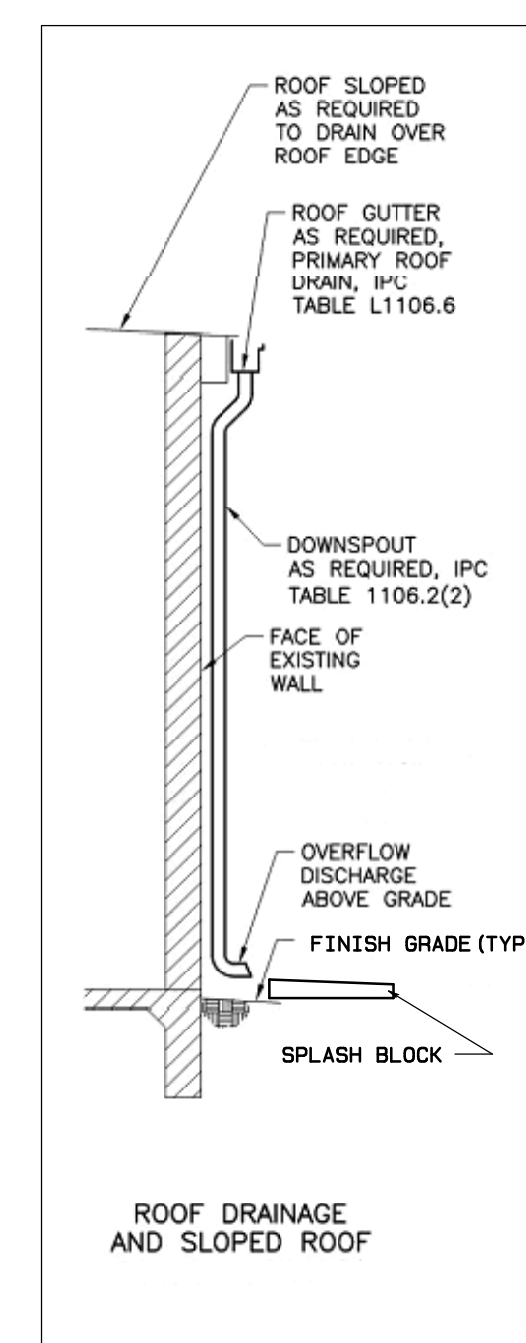
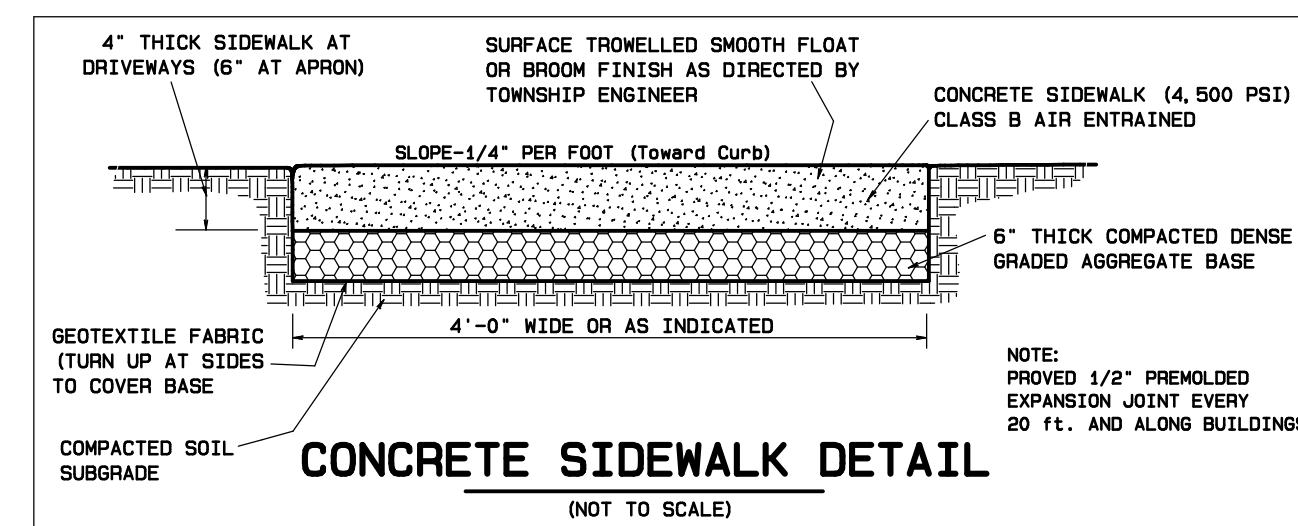
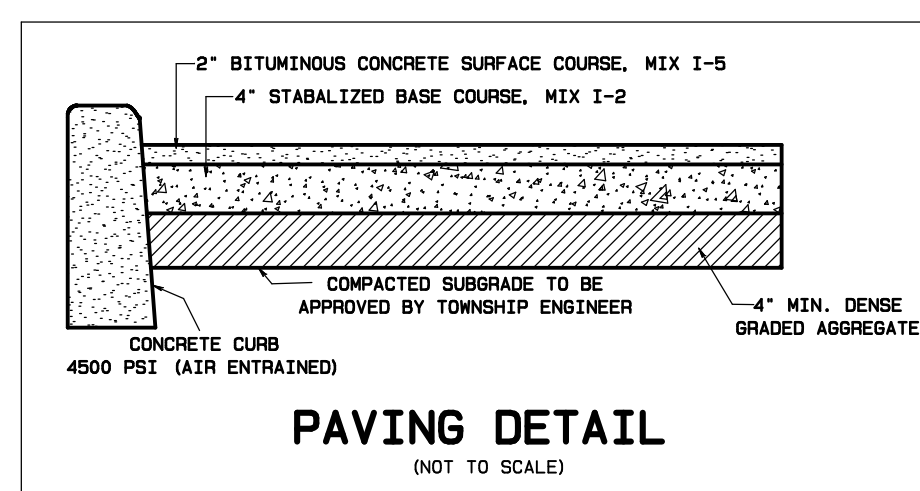
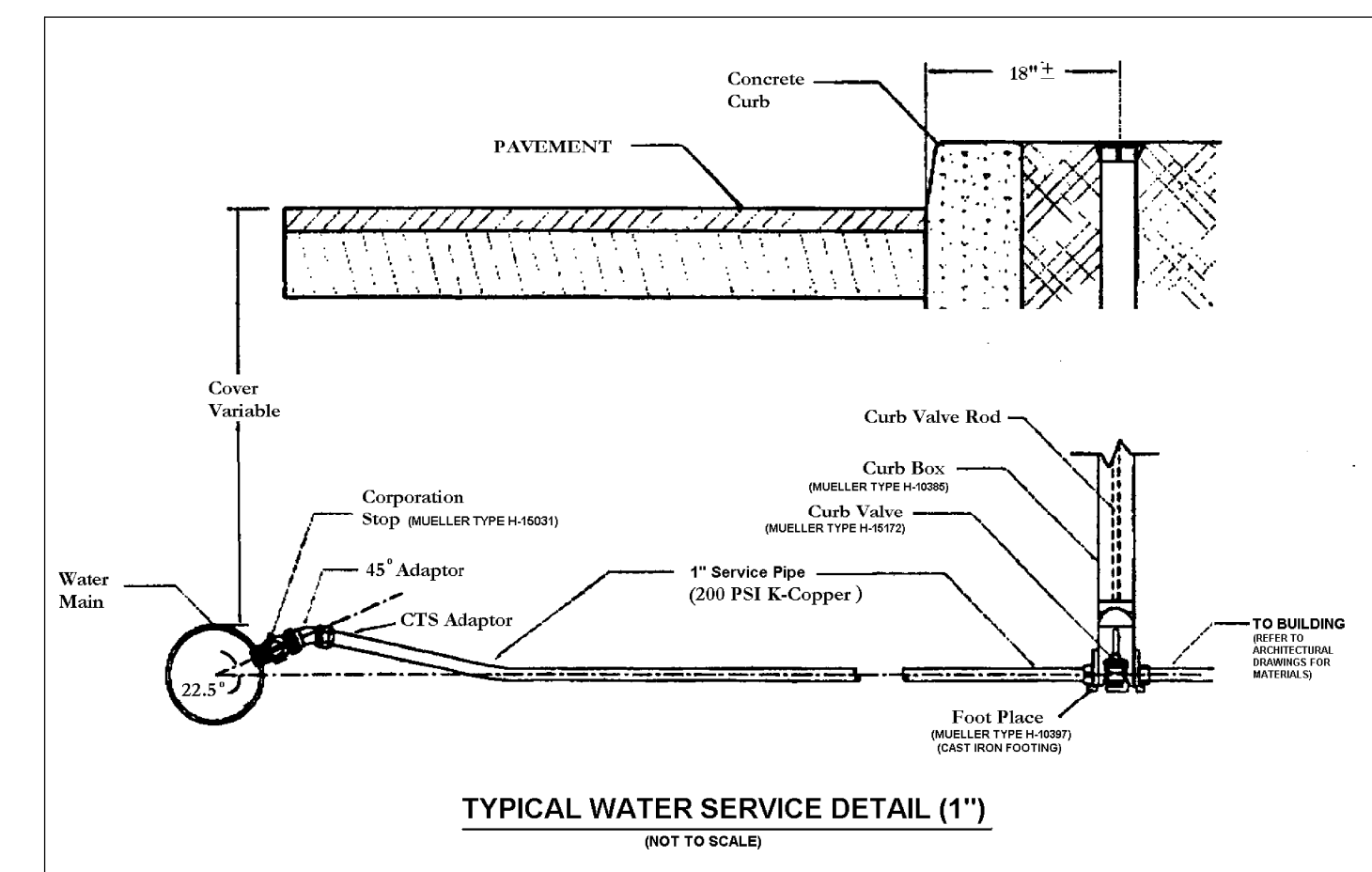
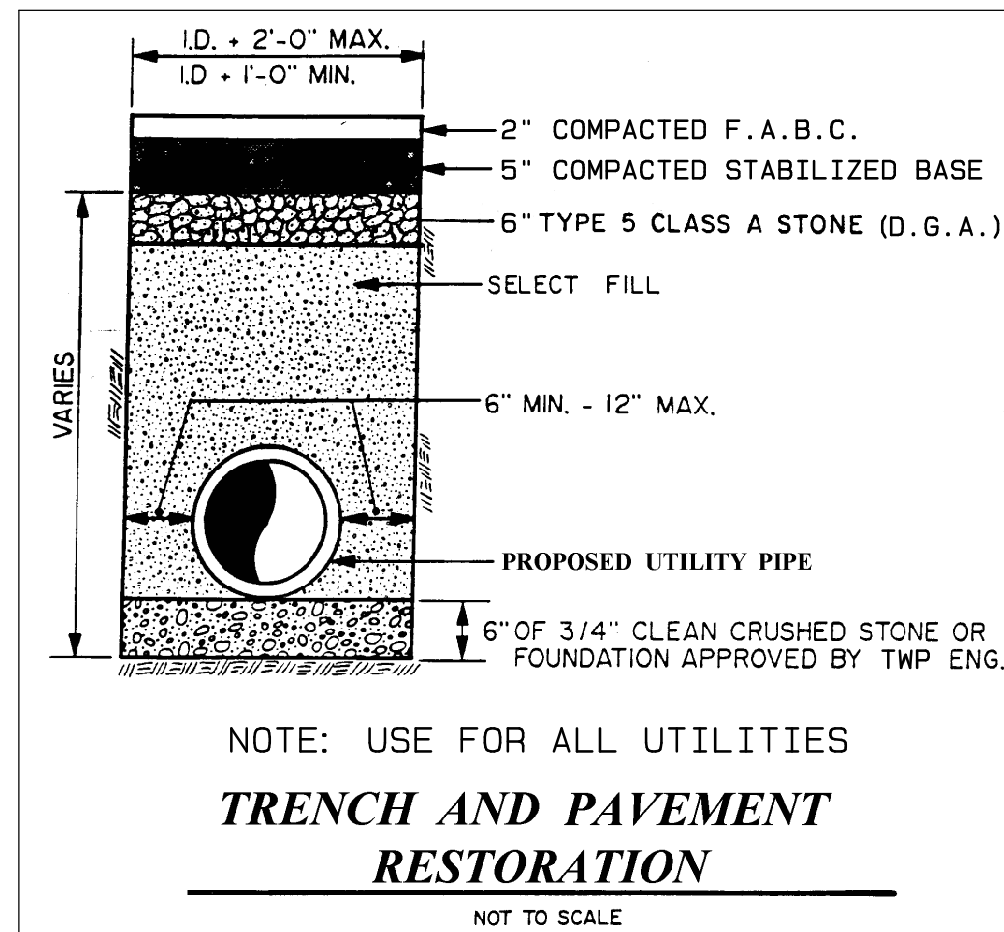
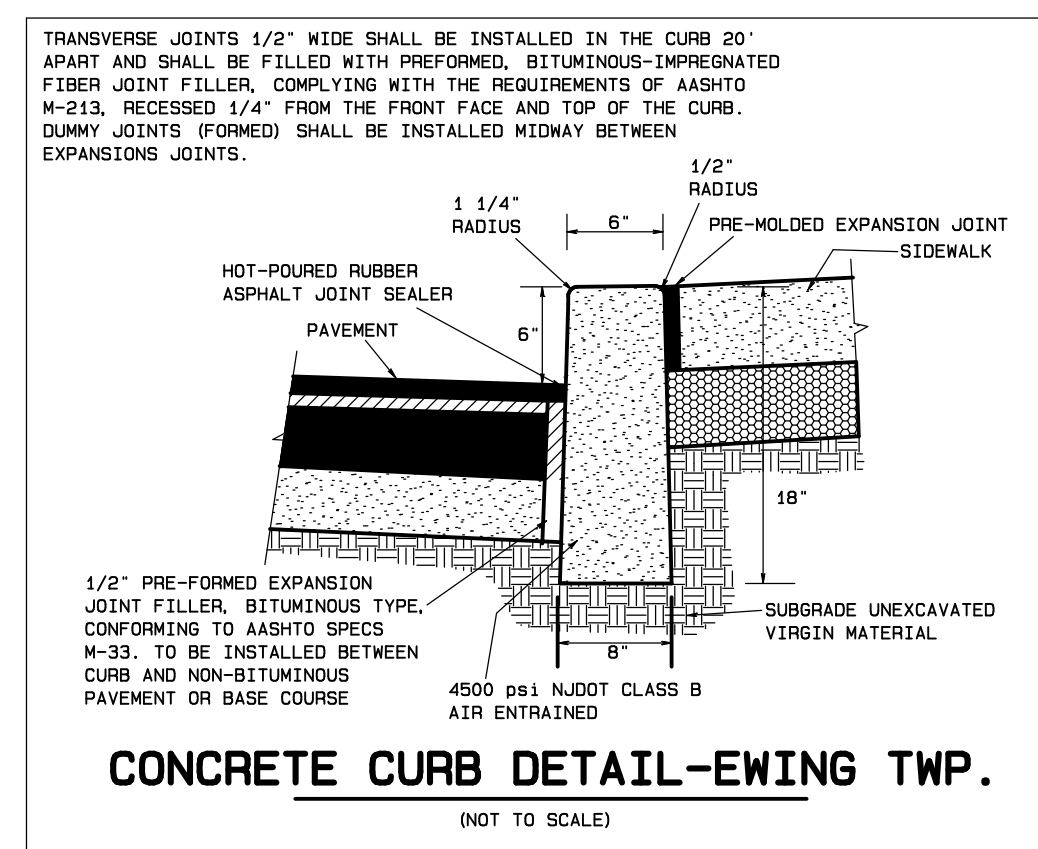
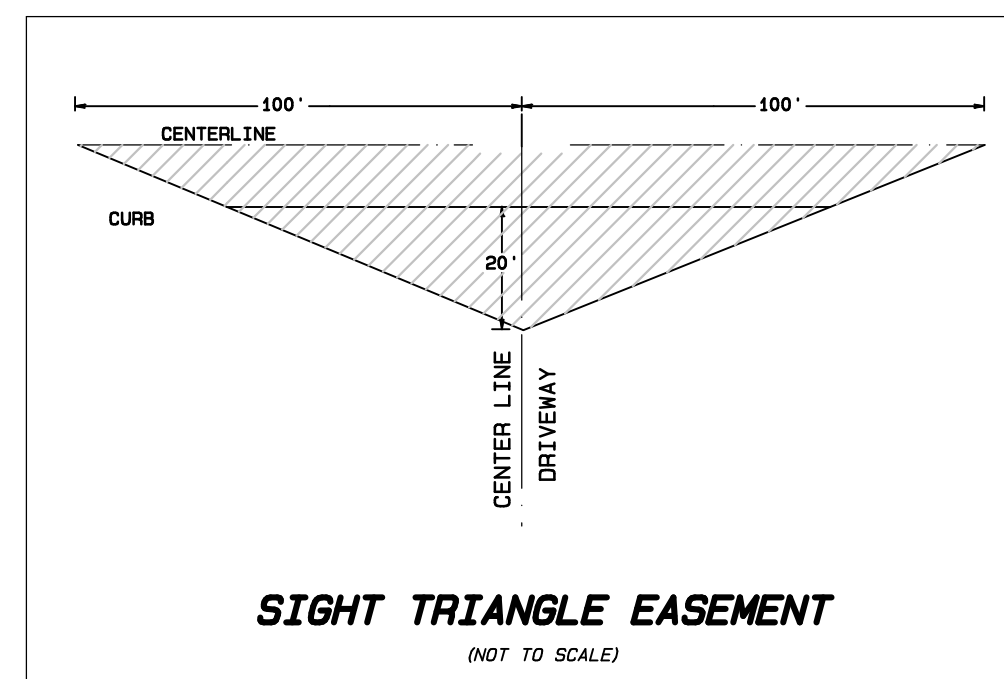


SHEET 3A

				<div>TRENTON ENGINEERING CO., INC. PROFESSIONAL ENGINEERS, PLANNERS AND LAND SURVEYORS ESTABLISHED 1907 2193 SPRUCE STREET TRENTON, N.J. 08638 TEL. NO. 609-882-0616 FAX. NO. 609-882-6004 D.F. STRATTON, L.S. N.J.-27583 P.P.N.J.-5021 JOSEPH MESTER N.J. PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR No. 19462 <i>11/29/19 Joseph Mester</i> DATE</div>		<div>PROPOSED LIGHTING PLAN of Lots 6-8 Block 590 for G & K Realty Assoc, LLC in TOWNSHIP OF EWING MERCER CO., NEW JERSEY</div>		<div>CERTIFICATE OF AUTHORIZATION NO. 2464380806 TAX MAP DATA LOT BLOCK PAGE 6-B 590 20 DATE 11/25/19 INV. 44497 DRAWN BY: BDS SCALE 1"=20' FB. PG. FILE 106-13</div>



NOTE:
SIGNS TO BE MOUNTED TO A GALVANIZED
BREAKAWAY STEEL U POST (BOTTOM OF SIGN
SHALL BE A MINIMUM OF 5' FROM PAVEMENT)

[illegible]

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FAX. NO. 609-882-6004
D.P. STRATTON L.S. N.J.-27923 P.P.N.J.-5021
JOSEPH MESTER
N.J. PROFESSIONAL ENGINEER AND
PROFESSIONAL LAND SURVEYOR NO. 19462
11/27/19 Joseph Mester
DATE

DETAIL SHEET
of
Lots 6-8 Block 590
for
G & K Realty Assoc. LLC
in
TOWNSHIP OF EWING
MERCER CO., NEW JERSEY

SHEET 4 CERTIFICATE OF AUTHORIZATION NO. 240A28002600		
TAX MAP DATA		
LOT	BLOCK	PAGE
6-8	590	20
DATE		11/25/19
INV.		44497
DRAWN BY: BDS		
SCALE		
FB.		PG.
FILE		106-13

